

AGENDA

STATE BUILDING CODE TECHNICAL REVIEW BOARD

Friday, March 15, 2013 - 10:00 a.m.

Virginia Housing Center - Henrico Room II, 4224 Cox Road
Glen Allen, Virginia

1. Roll Call
2. Approval of January 25, 2013 Minutes
3. Approval of Final Order
In Re: Appeal of Richard Clayton
Appeal No. 12-5
4. Appeal Hearing
In Re: Appeal of Milari Madison
Appeal No. 12-6
5. Secretary's Report

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STATE BUILDING CODE TECHNICAL REVIEW BOARD

Updated February 2013

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DRAFT MINUTES

STATE BUILDING CODE TECHNICAL REVIEW BOARD

MEETING
January 25, 2013

GLEN ALLEN, VIRGINIA

Members Present

Mr. J. Robert Allen, Chairman
Mr. R. Schaefer Oglesby, Vice-Chairman
Mr. J. Daniel Crigler
Mr. James R. Dawson
Mr. Joseph A. Kessler, III
Mr. John A. Knepper, Jr.
Mr. James N. Lowe
Mr. Eric Mays
Ms. Joanne D. Monday
Ms. Patricia S. O'Bannon

Members Absent

Mr. Matthew Arnold
Mr. W. Keith Brower, Jr.
Mr. John H. Epperson

Call to Order

The meeting of the State Building Code Technical Review Board (Review Board) was called to order by the Chairman at approximately 10:00 a.m.

Roll Call

The attendance was established by Mr. Vernon W. Hodge, Secretary, and constituted a quorum. Mr. Steven Jack, Assistant Attorney General in the Office of the Attorney General, was present and serving as the Board's legal counsel.

Approval of Minutes

Mr. Lowe moved to approve the minutes of the November 16, 2012 meeting as presented in the Review Board members' agenda package. The motion was seconded by Mr. Knepper and passed unanimously with Messrs. Arnold and Brower abstaining from the vote.

New Business

Appeal of Richard Clayton; Appeal No. 12-5:

A hearing convened with the Chairman serving as the presiding officer. The appeal concerned the application of the Virginia Statewide Fire Prevention Code (SFPC) to buildings in the Fort Ellsworth Condominium complex in the City of Alexandria. Richard Clayton, the owner of a condominium in the complex, appealed a decision of the City's SFPC fire official to the City of Alexandria Local Board of Fire Code Appeals. The decision related to whether the owner of the buildings is required to conduct annual inspections of the fire protection features of the buildings. The City appeals board upheld the fire official's decision and Clayton further appealed to the Review Board.

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New Business

Appeal of Richard Clayton; Appeal No. 12-5 (continued):

The following persons were sworn in and given an opportunity to present testimony:

Richard Clayton
Rudolph Thomas, Alexandria Asst. Fire Chief/Fire Marshal

Also present were:

Mary O'Donnell, Esq., counsel for the City of Alexandria
Martin Schubert, Esq., counsel for the Fort Ellsworth Unit Owners Association

Mr. Kessler arrived at approximately 10:10 a.m.

No exhibits were submitted at the hearing to supplement the record in the appeal.

After testimony concluded, the Chairman closed the hearing and stated a decision from the Review Board members would be forthcoming and the deliberations would be conducted in open session. It was further noted that a final order reflecting the decision would be considered at a subsequent meeting and, when approved, would be distributed to the parties and would contain a statement of further right of appeal.

Decision – Appeal of Richard Clayton; Appeal No. 12-5:

After deliberation, Mr. Allen moved to uphold the decision of the fire official and the City appeals board since Section 703.1 of the International Fire Code requiring an annual visual inspection of fire-resistant-rated construction by the owner is superseded by Section 103.2 of the SFPC, which states that all administrative matters in the codes and standards referenced by the SFPC, including requirements for inspections, are deleted and replaced by the provisions of Chapter 1 of the SFPC and Chapter 1 of the SFPC does not require such inspections. The motion was seconded by Mr. Arnold and passed unanimously.

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Interpretations

An interpretation request from the building official of York County was considered. Ms. Marianne Harris, the building official for York County, was present and provided an overview of the question and situation. Mr. Hodge advised the Review Board members that historically when an interpretation request involves a potential appeal situation the Board does not take any action on it. After discussion, the request was deferred.

Secretary's Report

Messrs. Hodge and Jack discussed the handling of public comments. After discussion, there was agreement to have a public comment period at the beginning of meetings.

The Board members considered a proposal for an amendment to the Virginia Uniform Statewide Building Code (USBC) and the Virginia Industrialized Building Safety Regulations partially based on a previous interpretation issued by the Board concerning the applicability of the USBC to storage containers. After discussion, Mr. Lowe moved to endorse the proposal as a co-proponent along with the Virginia Building and Code Officials Association's Administrative Committee. The motion was seconded by Mr. Oglesby and passed unanimously.

An additional proposal for an amendment to the USBC concerning the use of electronic inspection reports was considered. The proposal was based on a previous interpretation request issued by the Review Board. The proposal had been reviewed by a workgroup organized by the Department as part of the code development process and there was a suggestion to delete the reference in the proposal to a determination by the locality's legal counsel. After discussion, Mr. Allen moved to revise the proposal to remove the reference to the legal counsel. The motion was seconded by Mr. Dawson and passed unanimously.

Mr. Emory Rodgers, the Deputy Director of the Department's Division of Building and Fire Regulation briefly addressed the Board members concerning the code change process for developing the 2012 building and fire regulations. Mr. Rodgers then introduced Ms. Cindy Davis, the new State Building Code Administrator in the Department's State Building Codes Office.

Adjournment

There being no further business, the meeting was adjourned by motion of Mr. Lowe at approximately 1:10 p.m.

Approved: March 15, 2013

Chairman, State Building Code Technical Review Board

Secretary, State Building Code Technical Review Board

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VIRGINIA:

BEFORE THE
STATE BUILDING CODE TECHNICAL REVIEW BOARD (REVIEW BOARD)

IN RE: Appeal of Richard Clayton
Appeal No. 12-5

Hearing Date: January 25, 2013

DECISION OF THE REVIEW BOARD

I. PROCEDURAL BACKGROUND

The State Building Code Technical Review Board (Review Board) is a Governor-appointed board established to rule on disputes arising from application of regulations of the Department of Housing and Community Development. See §§ 36-108 and 36-114 of the Code of Virginia. The Review Board's proceedings are governed by the Virginia Administrative Process Act. See § 36-114 of the Code of Virginia.

II. CASE HISTORY

Richard Clayton (Clayton), the owner of Condominium #300, located at 120 Roberts Lane in the City of Alexandria, appeals a decision of the City's fire official under the Virginia Statewide Fire Prevention Code (SFPC).

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In March of 2012, Clayton requested the City fire official to enforce § 703.1 of the International Fire Code (IFC), a nationally recognized model code incorporated by reference in the SFPC, which he believed would require the condominium association to perform an annual inspection of accessible fire-resistance-rated construction in his condominium unit and in other units in the complex.

After corresponding with the fire official, being convinced that no proper enforcement would be ensued, Clayton filed an appeal to the City of Alexandria Local Board of Fire Code Appeals (City appeals board).

An appeal hearing was held in August of 2012 and the City appeals board ruled that § 703.1 of the IFC was not applicable. Clayton further appealed to the Review Board.

III. FINDINGS OF THE REVIEW BOARD

The issue in this appeal is whether § 703.1 of the IFC, which requires owners to perform an annual visual inspection of fire-resistance-rated construction, is fully enforceable under the SFPC as written or whether its requirements are superseded by differing requirements in the SFPC.

The IFC is incorporated by reference to be part of the SFPC in § 103.1. Chapter 1 of the IFC is specifically deleted and replaced by Chapter 1 of the SFPC by the wording in § 103.1.1.

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Section 103.2 of the SFPC states that "[a]ll requirements of the referenced codes and standards that relate to fees, permits, unsafe notices, disputes, condemnation, inspections, scope of enforcement and all other procedural, and administrative matters are deleted and replaced by the provisions of the Chapter 1 of the SFPC."

Clayton argues that the "referenced codes and standards" referred to in § 103.2 do not include the IFC, but only include the codes and standards referenced in the IFC; therefore, § 703.1 of the IFC is not affected by the language in § 103.2 of the SFPC.

The Review Board disagrees. Section 103.2 is part of Section 103, entitled "Incorporation by Reference." The purpose of the section is to incorporate the IFC as part of the SFPC and to set out how the IFC is to be used. Section 103.2 is entitled "Amendments." Accordingly, the text in the section addresses how the SFPC provisions amend provisions in the IFC which are administrative in nature or outside of the scope of the IFC. See also § 103.2.1 of the SFPC, which, as a subsection of § 103.2, specifically notes that the IFC and its referenced standards contain some areas of regulation outside of the scope of the SFPC.

To read § 103.2 of the SFPC to be applicable to only the codes and standards referenced by the IFC and not to the IFC

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itself, as Clayton suggests, is clearly a misreading of the section.

Further, the Review Board finds that the portion of § 703.1 of the IFC in question is a requirement which relates to inspection and is therefore deleted and replaced by the provisions of Chapter 1 of the SFPC. Chapter 1 addresses inspections in § 106.3 and states in pertinent part that "[t]he fire official is authorized to conduct such inspections as are deemed necessary to determine the extent of compliance with the provisions of this code" Therefore, under the SFPC, owners are not required to perform inspections of fire-resistant-rated construction and the fire official has discretion in determining what inspections the enforcing agency will conduct.

IV. FINAL ORDER

The appeal having been given due regard, and for the reasons set out herein, the Review Board orders the decision of the City of Alexandria fire official and the City appeals board to be, and hereby is, upheld.

Chairman, State Technical Review Board

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Date Entered

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VIRGINIA:

BEFORE THE
STATE BUILDING CODE TECHNICAL REVIEW BOARD

IN RE: Appeal of Milari Madison
 Appeal No. 12-6

CONTENTS

<u>Section</u>	<u>Page No.</u>
Review Board Staff Document	13
Basic Documents	19
Documents Submitted by Madison before Sept. 25, 2012 IFFC	28
Documents Submitted after Sept. 25, 2012 IFFC	68
Documents Submitted by State Building Code Office	72
Emails Submitted Before Sept. 25, 2012 IFFC	141
Emails Submitted After Sept. 25, 2012 IFFC	192
Additional Documents Submitted by Madison	266
Additional Documents Submitted by State Building Code Office	277
Additional Documents Submitted by Milton Home Systems	308

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VIRGINIA:

BEFORE THE
STATE BUILDING CODE TECHNICAL REVIEW BOARD

IN RE: Appeal of Milari Madison
 Appeal No. 12-6

REVIEW BOARD STAFF DOCUMENT

Suggested Statement of Case History and Pertinent Facts

1. In May of 2011, Milari Madison (Madison), a resident of Loudoun County, placed an order for a modular home through Integrity Building Systems (Integrity) and its distributor Convenient Installations (Convenient). A performance agreement was entered into with Integrity and a contract for a modular home (the "home") was entered into with Convenient.

2. The home was to be installed at 40153 Janney Street, in Waterford, Virginia. The home was set in July of 2011. A building permit, in Madison's name and listing Madison as the contractor, was obtained from the Loudoun County Department of Building and Development (County building department) for the installation of the home.

3. In December of 2011, Madison contacted the State Building Code Administrative Office, currently known as the State Building Codes Office (SBCO), of the Virginia Department of Housing and Community Development; the office serving as the state entity for the administration of the Virginia Industrialized Building Safety Regulations (IBSR), and filed a complaint dated December 15, 2011, outlining a number of concerns with the home and its installation. The complaint indicated that Integrity was now a division of a company known as Icon Legacy.

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4. The SBCO reviewed Madison's complaint and contacted Icon Legacy and were informed that Icon Legacy did not have any agreement with Integrity. The SBCO informed Madison and closed the complaint.

5. Madison subsequently discovered that Integrity had a successor by name change to Milton Homes Systems, Inc. (Milton). Madison engaged in negotiations with Milton in early 2012 culminating in a settlement offer. Concurrently, the SBCO met with Madison, representatives of Milton and the County building department at the home in an effort to resolve Madison's concerns.

6. By letter dated August 20, 2012, the SBCO informed Madison that no action could be taken under the IBSR against either Integrity or Milton and that the primary issue in the complaint, which was insufficient headroom on a stairway to the third level/attic, was in the process of being resolved since approvals had been issued by the County building department for a new stairway. The letter also noted that there was insufficient headroom on the stairway from the first floor to the second floor, which was identified by the County building department as a factory violation, and that a second electrical panel had been installed which was not shown on the information for the house from the factory, the approval of which was the responsibility of the County building department. The letter advised Madison that her case with the SBCO would be administratively closed and that she had a right to appeal.

7. Madison filed an appeal with the Review Board in early September of 2012. A statement of relief sought indicated the issues on appeal were that she disagreed with the statement by the SBCO that no action could be taken against Milton with relation to the temporary stairway off of the kitchen and its profile and riser opening dimensions; the lack of headroom on the stairways from the first floor to the second floor and from the second floor to the third level/attic; some temporary guardrails; and, dangerous and unsafe conditions caused by work done on the site.

8. Review Board staff conducted an informal fact-finding conference in September of 2012 in an attempt to further clarify the appeal situation. The conference was attended by Madison, the SBCO, Milton and its legal counsel, and the County building department. Review Board staff reviewed relevant provisions of the IBSR and Part I of the Virginia Uniform Statewide Building Code (Virginia Construction Code, or VCC) with those present with discussions relating to site work done on the home being regulated by the VCC and the local building department and only factory work being regulated by the IBSR and the SBCO. The issue of site work being performed by staff of Integrity and NTA, a compliance assurance agency under the IBSR, was also discussed. Review Board staff suggested that they were acting as independent contractors under the VCC and not under the authority of the IBSR. An additional issue of whether the stairs to the third level/attic were installed at the factory and whether they were serving a third story or an attic which could be later converted to a third story was discussed. A prior case decision of the Review Board was also distributed addressing the dismissal of an appeal as moot when violations were voluntarily corrected. Staff suggested as a result of the discussions at the conference that Madison be given some time to review the IBSR and VCC and determine whether there were any issues concerning the IBSR to move forward or whether the appeal could be withdrawn.

9. Subsequent to the informal fact-finding conference, Madison submitted correspondence requesting the SBCO to rescind the August 20, 2012 letter which stated that no action could be taken against Integrity or Milton. Ms. Madison also submitted documentation which she believed substantiated her position that the home was three stories and that the stairs to the third level/attic were installed at the factory. Ms. Madison also suggested that NTA was a party to the appeal and requested that any records they had concerning the third level/attic be subpoenaed by the Review Board. Review Board staff responded that the Review Board only had the authority

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to compel the attendance of witnesses and that could only take place at a meeting of the Review Board. Review Board staff did, however, contact Milton's legal counsel and the SBCO to ask for clarification on their position concerning whether the stairs to the third level/attic were installed at the factory, shipped loose with the home, or fabricated on site. A response from Milton's legal counsel indicated that their position was that the stairs to the third level/attic were shipped loose and that the home was two-story from the factory. The SBCO also responded, through its legal counsel, that irrespective of whether the stairs to the third level/attic were shipped loose or installed at the factory, the lack of proper headroom constituted a violation of the IBSR; however, since there was evidence that the stairs had been removed and were to be replaced with site-built stairs, the IBSR violation had been abated.

10. As the appeal to the Review Board was not withdrawn by Madison and additional issues were identified, Review Board staff scheduled a second informal fact-finding conference, which was conducted in December of 2012 and attended by Madison, the SBCO and its legal counsel, Milton and its legal counsel, and the County building department. At the conference, the parties agreed that the only outstanding issue was the determination by the SBCO that it could not hold Milton responsible for any violations of the IBSR associated with the home. The SBCO indicated that that determination had been modified and provided a copy of a letter dated November 19, 2012 to Milton. The letter confirmed that Milton was a successor by name change to Integrity and identified the only outstanding issue under the IBSR with the home as the headroom on the stairway from the first floor to the second floor being less than that required by the IBSR. The letter reaffirmed that the stairs to the third level/attic were in the process of being replaced by site-built stairs.

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11. Madison agreed at the second informal fact-finding conference to review the new determination by the SBCO and to decide after review whether to withdraw the appeal. Review Board staff distributed a prior case decision of the Review Board addressing the issue of prosecutorial actions being at the discretion of the legal counsel of the enforcing agency and discussed the issue with relation to whether a decision of the SBCO not to pursue prosecution of Milton would be appealable. In addition, based on past cases of the Review Board, Review Board staff stated that enforcement decisions able to be appealed are generally only whether a violation does or does not exist. In that context, the reason given by the SBCO for not pursuing Milton was not a decision on whether a violation existed, so if Madison was moving an appeal forward on that issue, staff would have the Review Board consider whether that issue was appealable.

12. Subsequent to the second informal fact-finding conference, Madison contacted the SBCO's legal counsel to see if they could draft an agreement concerning the SBCO's action to enforce the IBSR which would permit her to withdraw her appeal. Legal counsel for the SBCO responded that the content of the letter from the SBCO stood on its own merits. Madison then indicated that the SBCO solicited her appeal and that without the statements in the August 20, 2012 letter being rescinded, she was afraid she would lose the right to appeal the issue if she withdrew her appeal.

13. In additional correspondence subsequent to the second informal fact-finding conference, Madison identified specific issues concerning the installation of the home, remaining problems with the installation, issues relating to the manufacturer's installation instructions and the third level/attic being a third story.

14. Review Board staff informed the parties that as Madison had not withdrawn the appeal, a hearing would be scheduled before the Review Board. This Review Board Staff

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Document was drafted and distributed to the parties for review and timeframes established for the submittal of additions, corrections or objections to the staff document and the submittal of additional documents for the record and written arguments.

Suggested Issues for Resolution by the Review Board

1. Whether the reason given by the SBCO for not taking any action against Integrity or Milton in the August 20, 2012 letter is properly before the Review Board; and if so, whether the new determination by the SBCO in the November 19, 2012 letter renders the appeal of that issue moot; and if not, whether to overturn determinations of the SBCO with respect to that issue.
2. Whether the issue of the data plate for the home being incorrect for the electrical service size and number of stories is properly before the Review Board; and if so, whether to overturn determinations of the SBCO with respect to that issue.
3. Whether any other issues identified by Madison are properly before the Review Board; and if so, whether to overturn determinations of the SBCO on such issues.

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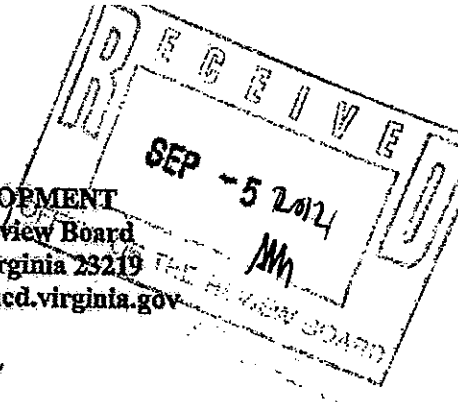
BASIC DOCUMENTS

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COMMONWEALTH OF VIRGINIA
DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT
State Building Codes Office and Office of the State Technical Review Board
Main Street Centre, 600 E. Main Street, Suite 300, Richmond, Virginia 23219
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APPLICATION FOR ADMINISTRATIVE APPEAL

Regulation Serving as Basis of Appeal (check one):

- ☒ Uniform Statewide Building Code
☐ Statewide Fire Prevention Code
☒ Industrialized Building Safety Regulations
☐ Amusement Device Regulations

"letter" no cited code
or Regulations
provided

Appealing Party Information (name, address, telephone number and email address):

Milani Madison
40153 Zanny Street, Box 302
Waterford VA 540-882-3160

huntermadison2002@yahoo.com

Opposing Party Information (name, address, telephone number and email address of all other parties):

DHCD, SBC official I.B.

Additional Information (to be submitted with this application)

- ☒ Copy of enforcement decision being appealed
☐ Copy of record and decision of local government appeals board (if applicable and available)
☒ Statement of specific relief sought

CERTIFICATE OF SERVICE

I hereby certify that on the 5th day of September, 2012, a completed copy of this application, including the additional information required above, was either mailed, hand delivered, emailed or sent by facsimile to the Office of the State Technical Review Board and to all opposing parties listed.

Note: This application must be received by the Office of the State Technical Review Board within five (5) working days of the date on the above certificate of service for that date to be considered as the filing date of the appeal. If not received within five (5) working days, the date this application is actually received by the Office of the Review Board will be considered to be the filing date.

Signature of Applicant:

Milani Madison

Milani Madison

Name of Applicant:

(please print or type)

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Milari Madison
40153 Janney Street
P.O. Box 302
Waterford, VA 20197

September 5, 2012

Re: Appeal to August 20, 2012 "letter" by Ms. Cindy Davis

Ms. Davis's "letter" is based on a factual error, assumptions, opinion, and the misapplication and interpretation of Virginia law (letter attached). Under the direction of Mr. Emory Rodgers, the attached letter is subject to appeal. It should be noted, DHCD failed to provide any published guidelines/rules/or code sections relied upon in the "letter" to formulate the conclusions.

DHCD relies upon on a false assumption that Integrity Business Systems, Inc. was/is somehow "out of business" and therefore no longer subject to applicable code. Worse, the Davis "letter" erroneously proposes that this information (Integrity Business Systems, Inc. is out of business), was supplied by me. Contrariwise, as found in the excerpt from the email below, DHCD was specifically advised that Integrity Business Systems only changed their name.

From: Hunter Madison [mailto:huntermadison2002@yahoo.com]
Sent: Thursday, February 02, 2012 12:54 PM
To: Brock, Larry (DHCD); Leatherby, Eric (DHCD)
Cc: Chris Thompson
Subject: Madison complaint, Integrity Building Systems

Dear Larry and Eric,

You may know this already---

I just got off the phone with the Pennsylvania Corporation Commission. They told me that Integrity Building Systems Inc. changed their name on 11-16-2011 to Milton Home Systems, Inc. with Richard Rowe remaining as President, Glenn Salsman remaining as Secretary. Glenn Salsman signed the Performance Agreement. The same address appears for Milton Home Systems. Inc as Integrity held. 2435 Housels Run Road, Milton, PA 17847.

No merge or acquisition papers have been filed. She is sending me a copy of the paperwork she has on file.

The Virginia law is very clear that "The change of a corporation's name is not a change of the identity of a corporation and has no effect on the corporation's property, rights, or liabilities." *Alley v. Miramon*, 614 F.2d 1372, 1384 (5th Cir, 1980); see also *Wright-Caesar Tobacco Co. v. A. Hoen & Co.*, 54 S.E. 309,311 (Va. 1906) (the Virginia Supreme Court did not permit a company to avoid liability by changing its name where the successor company was "but a continuation" of the first company). DHCD has no

authority conferred upon it to make up a new interpretation of established VA law for the purpose of not enforcing state building code in this instant matter.

Attached is a letter from the Integrity Building Systems, Inc. attorney (now doing business as Milton Home Systems, Inc. "Milton"), that confirms they are not "out of business" but that they merely changed the company name. **Integrity Business Systems, Inc. did NOT go out of business.** The letter, dated, February 10, 2012 states "This firm is counsel to Milton Home Systems, Inc., successor by name change to Integrity Building Systems, Inc."

The names of the officers remain the same "persons" and are subject to the provisions of the code regardless of what company name they built, sold, set, and altered the house under. 13 VAC 5-91-90. Penalty for violation. In accordance with § 36-83 of the Code of Virginia, any persons, firm or corporation violating any provisions of this chapter shall be considered guilty of a Class 1 misdemeanor and, upon conviction, shall be fined not more than \$1,000 to prosecute.

DHCD is required under the law, at § 36-85.5. Enforcement, to "seek enforcement of the civil and criminal penalties established by § 36-85.12 of this law". However, DHCD has relied upon an *ad hoc* made up rule; the change of the company name means that no compliance is necessary and no action will be taken by DHCD.

Provided under 13VAC5-91-60, Notice of violation, DHCD has disregarded its duty. In accordance with § 36-82 of the Code of Virginia, whenever the administrator shall find any violation of this chapter, he **shall** order the person responsible to bring the building into compliance within a reasonable time, to be fixed in the order. In addition, as a requirement of this chapter, the administrator may request assistance from the building official for enforcement of this section.

13VAC5-91-100. Duties and responsibilities of building officials in the installation or erection of a registered industrialized building at (C.); when a building official determines that a violation of any provision of this section is present, the responsible person shall be notified and given a reasonable time to correct the violation. If the violation is not corrected, the building official **shall** institute the appropriate proceedings to require correction or abatement of the violation and may prohibit the occupancy of the building until the violation is corrected." The provisions of the law cannot be more clear, shall does not mean maybe.

At 13VAC5-91-20, Application and compliance (c), the VAC provides that "the installation or erection of industrialized buildings and alterations, additions, or repairs to industrialized buildings are regulated by the USBC". The provisions of this chapter "do not prohibit the administrative provisions of the USBC for permits, inspections, certificates of occupancy and other matters from being applicable to the extent they are not addressed by the requirements of this chapter." DHCD has a duty to protect the public from unscrupulous businesses and to protect the safety and welfare. However, in this instant matter, DHCD has made the irrational conclusion that a name change to a

business means they do not have any obligations or liabilities, as a business, entity, or persons in violation of the plain language of the code

115.2 Notice of violation. The building official shall issue a written notice of violation to the responsible party if any violations of this code or any directives or orders of the building official have not been corrected or complied with in a reasonable time. The notice shall reference the code section upon which the notice is based and direct the discontinuance and abatement of the violation or the compliance with such directive or order. The notice shall be issued by either delivering a copy to the responsible party by mail to the last known address or delivering the notice in person or by leaving it in the possession of any person in charge of the premises, or by posting the notice in a conspicuous place if the person in charge of the premises cannot be found. The notice of violation shall indicate the right of appeal by referencing the appeals section. When the owner of the building or structure, or the permit holder for the construction in question, or the tenants of such building or structure, are not the responsible party to whom the notice of violation is issued, then a copy of the notice shall also be delivered to the such owner, permit holder or tenants.

DHCD is fully aware that violations to the code exist but simply prefers to do nothing. The Loudoun County Code Enforcement Division notes, in writing, by email dated February 28, 2012:

From: "Thompson, Chris" <Chris.Thompson@loudoun.gov>
To: Hunter Madison <huntermadison2002@yahoo.com>;
"potter@rudnitskyhackman.com" <potter@rudnitskyhackman.com>
Cc: "'Leatherby, Eric (DHCD)'" <Eric.Leatherby@dhcd.virginia.gov>; "'Brock, Larry (DHCD)'" <Larry.Brock@dhcd.virginia.gov>

Milari,

There were several items in your home that were not code compliant. They were the stairs leading to the wing off the kitchen which did not meet the requirements of section R311.5.3.3 Profile. Specifically the treads were temporary and did not meet the profile requirements and had open risers in excess of 4 inches.

The stairway to the second floor did not meet the requirements of section R311.5.2 Headroom

The stairway to the third floor did not meet the requirement of section R311.5.2 Headroom and R311.5.4 Landings for Stairways.

There are temporary guards that do not meet the requirements of section R312.1 Guards.

County of Loudoun
Building and Development
Code Enforcement Division
Chris Thompson

Other code violations directly caused by Milton were rectified at my additional expense including the installation of a guard rail to the basement (the stairs were set by Milton staff on-site causing a hazardous condition) and the dimensions of the chimney box (built

and set by Milton staff on-site). The chimney box size and conduit Milton built would not accommodate the chimney pipes per the manufacturer's specifications, was a potential danger, and does not comply with the plan. Milton directly violated section 103.5 Reconstruction, alteration or repair, which provides in part; "Any reconstruction, alteration or repair shall not adversely affect the performance of the building or structure, or cause the building or structure to become unsafe or lower existing levels of health and safety."

Milton provided a "plan" (without stamped drawings to the County) to install a spiral staircase that their unlicensed staff began to implement without my written approval that also violated section 103.5; "Any reconstruction, alteration or repair shall not adversely affect the performance of the building or structure, or cause the building or structure to become unsafe or lower existing levels of health and safety."

Milton staff was found in the house, after they removed the wall enclosing the staircase to the third floor, preparing to cut open the attic floor to accommodate the "box" for a spiral staircase (a spiral staircase was not bargained for as it provides diminished functionality and an undesirable detail for the planned residence). I asked Milton to see a copy of the "plan" they were using. It was obvious that the center pole, in reality, would have no floor to sit upon, that the location as they showed the center pole would place the pole above the open air of the stairway below. They agreed the plan would fail, called their supervisor, and went home. Milton staff apparently relied upon "drawings/plans", not stamped as required by 109.3 (Engineering details. All engineered documents, including relevant computations, shall be sealed by the RDP responsible for the design). Milton's "repair" actions caused additional unsafe conditions leaving both staircases unguarded and dangling hot electrical wires coming down from the third floor, those wires feeding to the third floor and the wires embedded in the wall as removed by Milton.

NTA, INC

NTA Inc. is a "Compliance assurance agency" as defined under 13 VAC 5-91-10, meaning a "professional engineer registered in Virginia, or an organization, ~~determined by the Board~~ to be *specially qualified* by reason of facilities, personnel, experience, and demonstrated reliability, to investigate, test and evaluate industrialized buildings; to list such buildings complying with standards at least equal to this chapter; ~~and to provide a compliance assurance label for buildings listed by the agency.~~

The units, although they do not meet code, have registration labels affixed to them by NTA Inc. that provide assurances that the units meet code when, in fact, they do not.

§ 36-79. Effect of label of compliance assurance agency. Any industrialized building shall be deemed to comply with the standards of the Board when bearing the label of a compliance assurance agency. As we know, the units contain "Mac Daddy" building code violations but were affixed with the labels anyway.

NTA Inc., failed to comply with the requirements as represented by NTA to DHCD but DHCD seems to look the other way. Since they are affixing labels that erroneously state that the structure meets code, they are in violation of the law and should not be permitted to act as a Compliance Assurance Agency, is required to fix the problems, and is subject to criminal prosecution. Contrary to the requirements mandated by 13 VAC 5-91-180, and 13 VAC 5-91-200, NTA states that "All complaints by parties are fully resolved" (page 12 of 14 of the NTA data package to DHCD). Further, on page 12 of 14, NTA states "Corrective action for non-conforming work is to be performed." NTA has done nothing to cure the defects in the house contrary to their oath.

DHCD's "letter" is incorrect in its assumption that the house somehow was delivered with a "second 200 amp panel" that was "shipped loose" with the home. Although NTA certifies that the house's data plate is "correct" by stating the house has a 200 amp service, Milton shipped, built and wired the house for a 400 amp service, had both panels wired and had unlicensed staff endeavor to understand why the electric was not "working". Milton staff attempted to connect certain boxes, and simply said, on-site, they did not know what was wrong.

From: Martin Sickle <MartyS@integritybuild.com>
To: Hunter Madison <huntermadison2002@yahoo.com>
Sent: Wednesday, June 22, 2011 8:15 AM
Subject: RE: Mtr base sizing, two 200 amp panels

We are building the house with 2-200 amp service panels

Martin Sickle
V.P. Sales & Marketing
Integrity Building Systems, Inc.
2435 House's Run Road
Milton, PA 17847
Phone (800) 553-4402 Ext. 3629
Cell Phone (570) 274-3031
Fax (570) 522-0089
msickle@integritybuild.com
www.integritybuild.com

Success is not what you get; it is what you become

From: Hunter Madison [mailto:huntermadison2002@yahoo.com]
Sent: Wed 6/22/2011 7:48 AM
To: Martin Sickle
Subject: Fw: Mtr base sizing, two 200 amp panels

Marty,

The power company maintains that I need two 200 amp panel boxes (see below). Darren said I need 400 amp service too.

Please confirm that this is done as I am having the power company bring in the

line ASAP.

Milari

13 VAC 5-91-90. Penalty for violation. In accordance with § 36-83 of the Code of Virginia, any persons, firm or corporation violating any provisions of this chapter shall be considered guilty of a Class 1 misdemeanor and, upon conviction, shall be fined not more than \$1,000 to prosecute.

**PALTRY SETTLEMENT OFFER DOES NOT
MEAN MILTON OR NTA, INC. ARE FREE OF DUTY**

DHCD's "letter" is grossly remiss in suggesting that a paltry settlement offer from Milton should somehow negate NTA, Inc., Milton and DHCD duty under 13VAC5-91-100 and other applicable law, including the intent and purpose of state regulations.

The duty and responsibility of the building official in the installation or erection of a registered industrialized building include "When a building official determines that a violation of any provision of this section is present, the responsible person shall be notified and given a reasonable time to correct the violation. If the violation is not corrected, the building official shall institute the appropriate proceedings to require correction or abatement of the violation..."

Milton manufactured, delivered, set, and altered the dwelling that was not agreed upon in writing. NTA, Inc. provided assurance guarantees that the house met code and failed to perform under the NTA oath to DHCD. The approved plan was altered. The failure of the "Mac Daddy" code violation, the stairs, not only violates code, but results in a product that does not meet its intended purpose and poses an endangerment. The house is not level, was not watertight, was not delivered and set per the plan, or in compliance with the setting procedures provided by NTA Inc., and continues to suffer from cracks and buckling. It is simply disingenuous for DHCD to drop the ball, because the Milton's Pennsylvanian attorney states that they made an "offer" to settle, an offer that fails to cover the expenditure to fix the numerous problems and other proper compensation.

RELIEF SOUGHT FROM THE TRB

The precedent of this type of "letter"/policy is significant. Are all companies, that come before a building official simply, going to change their name and walk away from obligations based on this *ad hoc* policy? I certainly hope DHCD does not incorporate such a policy into actual published guidelines for unscrupulous builders to enjoy.

I am requesting that the TRB direct the Building Code Official to issue the Notice of Violation to all companies, including Milton and NTA, Inc and responsible parties/persons including Mr. Tompos, Mr. Salsman, and Mr. Rowe noting the applicable violations including but not limited to:

R311.5.3.3 Profile. Specifically the treads were temporary and did not meet the profile requirements and had open risers in excess of 4 inches.

The stairway to the second floor did not meet the requirements of section R311.5.2 Headroom

The stairway to the third floor did not meet the requirement of section R311.5.2 Headroom and R311.5.4 Landings for Stairways.

Temporary guards that do not meet the requirements of section R312.1 Guards. 103.5 Reconstruction, alteration or repair have caused additional dangerous and unsafe conditions, lowering safety, including dangling hot electric wires and unguarded stairways.

Failure to submit engineering details 109.3 (Engineering details)

Respectfully Submitted



Milari Madison

Rudnitsky & Hackman, L.L.P.

Attorneys at Law

Courtyard Offices
1372 N. Susquehanna Trail, Suite 130
Selling Grove, Pennsylvania 17870

Telephone (570) 743-2333

Fax (570) 743-2347

www.rudnitskyhackman.com


February 10, 2012

Via Email & US First Class Mail

Paul G. Madison
Kelley, Drye & Warren, LLP
Washington Harbour, Suite 400
3050 K Street, NW
Washington, DC 20007-5108

Re: Milari Madison
BCP-12-05-000656

Dear Mr. Madison:

 This firm is counsel to Milton Home Systems, Inc., successor by name change to Integrity Building Systems, Inc.

We received a copy of a letter that Tim Finnerty, counsel for Integrity Building Systems LLC, directed to the Office of the Attorney General which details the circumstances regarding the sale and purchase in question. A copy is enclosed for your records. Attorney Finnerty has correctly described the structure of the transaction and the fact that this particular claim was not assumed by Integrity Building Systems LLC.

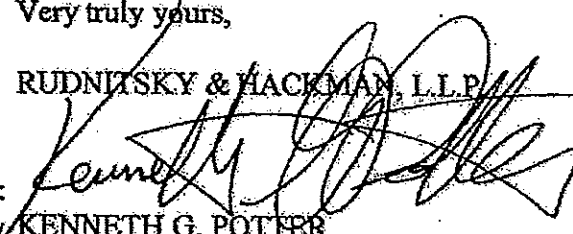
Having reviewed our client's file, we know that this matter has been ongoing for a number of months and that you may not have received a response to either your letter of September or December. Now that we are involved, we hope to engage in a productive discussion as to how this matter may be resolved.

Please direct any and all further communications regarding this matter to our office.

Very truly yours,

RUDNITSKY & HACKMAN, L.L.P.

BY:


KENNETH G. POTTER

Email to potter@rudnitskyhackman.com

Enclosure
cc: client



Robert F. McDonnell
Governor

James S. Cheng
Secretary of
Commerce and Trade

COMMONWEALTH of VIRGINIA

DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT

William C. Shelton
Director

August 20, 2012

Ms. Milari Madison
40153 Janney Street
Waterford, VA 20197

Dear Ms. Madison,

I am in receipt of your August 16, 2012 e-mail regarding your modular home complaint. You have requested that this office provide you with "any document sent to NTA directing the correction of the building code violations" at your property. Please be advised that this office has not sent any documents to NTA directing them to correct any building code violations.

As you are aware, based on past correspondence and conversations, the State Building Codes Office acts as the building official for registered industrialized buildings, commonly referred to as modular homes. As the building official this office is authorized to cite the manufacturer for building code violations that are introduced during production in the factory. NTA is not the manufacturer of your home and therefore this office cannot direct them to correct building code violations caused by another entity. Integrity Building Systems, Inc. manufactured your home and would be the proper party to cite for any factory violations. However as we previously reported to you, this office received notice from Integrity Building Systems on October 21, 2011 that effective November 17, 2011 they were ceasing all operations and their assets were being sold to another manufacturer. As Integrity Building Systems is no longer in business we are unable to cite the manufacturer for the potential violations listed in your complaint.

It is our understanding that individuals associated with Integrity Building Systems later formed a new and unrelated business entity called Milton Home Systems, Inc., based on the information you provided. This office cannot cite Milton Home Systems as they did not manufacture your home.

The primary issue contained in your December 15, 2011 complaint to this office was the insufficient headroom provided in the stairway to the third story of your home. The Loudoun County building department had previously cited this as well as insufficient headroom in the stairway leading to the second story as violations caused by the manufacturer.

Partners for Better Communities



www.dhcd.virginia.gov

In an effort to assist you in resolving your complaint, representatives from this office, the Loudoun County building department, NTA and Milton Homes met at your home on April 9, 2012 to verify the cited building code violations and seek a possible resolution.

Correspondence dated May 30, 2012 from the attorney representing Milton Home Systems, Inc. stated that a monetary settlement had been offered to you to resolve your issues with Integrity Building Systems, Inc. (see attached). The Loudoun County Building Department subsequently advised this office that work was being performed to construct a new stairway to the top story of your home, based on plans that had been reviewed and approved by their department. Loudoun County has advised this office that they have performed rough-in inspections of the new stairway.

Your e-mail also states that NTA certified that the home has a 200-amp electrical service, although in actuality the home has two 200 amp electrical services. The building plans that Integrity submitted to NTA for approval show one 200 amp panel along with calculations for one 200 amp panel. It appears that the second 200 amp panel was shipped loose with the home for the wiring of site installed equipment and outlets. The Loudoun County building department is the authority having jurisdiction for the site installation and wiring of this panel.

As this office is unable to proceed further with this case this file will be administratively closed.

Pursuant to section 13 VAC 5-91-70 of the Virginia Industrialized Building Safety Regulations any person aggrieved by the Department of Housing and Community Development's (DHCD) application of this chapter shall be heard by the State Review Board established by §36-108 of the Code of Virginia. Such appeal shall be submitted within 21 calendar days of receipt of DHCD's decision. A copy of the decision of DHCD to be appealed shall be submitted with the application for appeal. Failure to submit an application for appeal within the time limit established by this section shall constitute acceptance of DHCD's decision. For your convenience, I have enclosed an application.

Please contact me at 804-371-7150 or by email at cindy.davis@dhcd.virginia.gov, if you have any questions regarding this matter.

Sincerely,



Cindy L. Davis
State Building Codes Director

Attachment

C: Christopher Thompson, Loudoun Co.
Emory Rodgers
Eric Leatherby

Rudnitsky & Hackman, L.L.P.

Attorneys at Law

Courtyard Offices
1372 N. Susquehanna Trail, Suite 130
Salisbury, Pennsylvania 17870

Telephone (570) 743-2333

Fax (570) 743-2347

www.rudnitskyhackman.com



May 30, 2012

Eric Leatherby, Sr. Construction Inspector II
Commonwealth of Virginia
Department of Housing & Community Development
600 East Main Street, Suite 300
Richmond, VA 23219

Re: Malari Madison
Integrity Building Systems, Inc.
Pre-manufactured Home
40153 Janney Street
Waterford, VA 20197

Dear Mr. Leatherby:

Please allow this correspondence to serve as a response to your letter dated May 8, 2012 and to memorialize our conversation on May 29, 2012 regarding the above-referenced matter.

In response to our evaluation of this matter, my client, Milton Home Systems, Inc., has made a monetary settlement offer to Mrs. Madison. I am awaiting a response from Mrs. Madison regarding said offer. Please be advised that any report or information provided to me by my expert, Mr. Tompos, is confidential and privileged work product and will not be provided to any parties to this matter.

Please feel free to contact me with any questions or comments.

Very truly yours,

RUDNITSKY & HACKMAN, L.L.P.

KENNETH G. POTTER

Email to potter@rudnitskyhackman.com

KGP:peb
u:\Integrity\madison\leatherby.5.30.12.

THIS CORRESPONDENCE IS FOR PURPOSES OF SETTLEMENT NEGOTIATIONS ONLY AND CANNOT BE USED FOR LITIGATION IN ANY WAY OR MANNER.



19260 C.R. 46, P.O. Box 463, New Paris, IN 46553
Telephone (574) 831-4200 Fax (574) 831-4209
www.pyramid1inc.com

PYRAMID1, INC.

ENGINEERING * DESIGN * REVIEW & INSPECTION AGENCY

September 5, 2012

Virginia Department of Housing and Community Development
Main Street Centre
600 East Main Street
Suite 300
Richmond, VA. 23219

Dear Ms. Davis:

Please accept this letter as notice that Pyramid1, Inc. and Modular Space Corporation have signed a new contract for Pyramid1, Inc to act as the compliance assurance agency for Modular Space Corporation to monitor their construction and quality control of industrialized buildings for the State of VA.

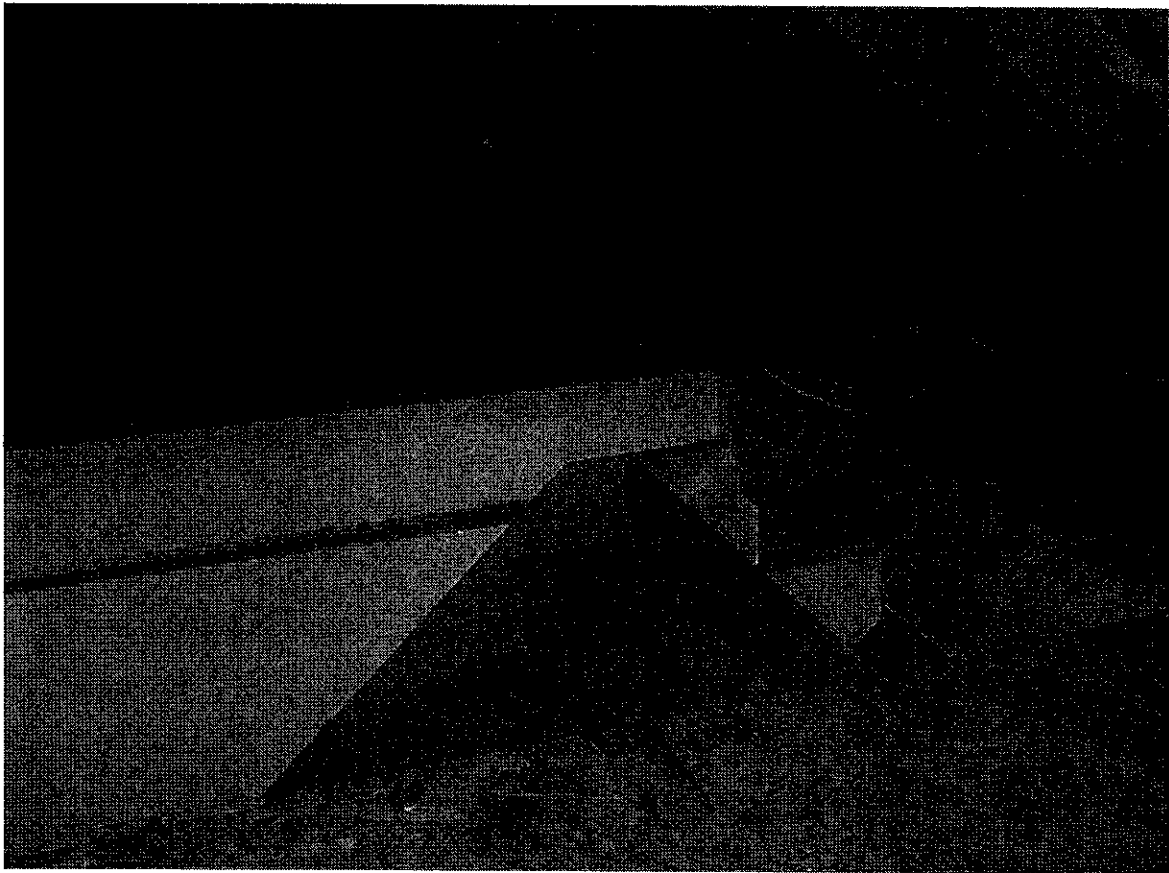
The branch location used for the construction of the industrialized buildings will be:

ModSpace
3030 Unionville Pike
Hatfield, PA 19440
Phone: (215)730-0371
Fax: (215)730-0443
Contact: James Hahn

If you have any questions or need further information, please contact me at your convenience.

Sincerely,

Andrew R. Carlson, C.B.O., M.C.P.
Review/Inspection Services



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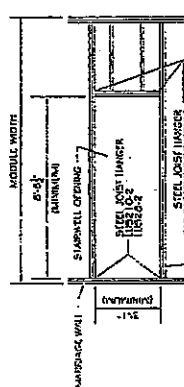
DOCUMENTS SUBMITTED BY
MADISON BEFORE SEPT. 25,
2012 FACT-FINDING
CONFERENCE

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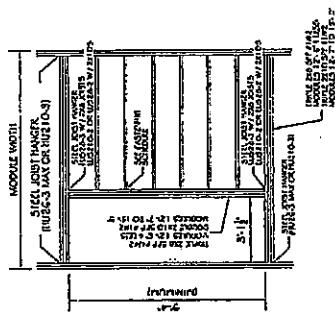
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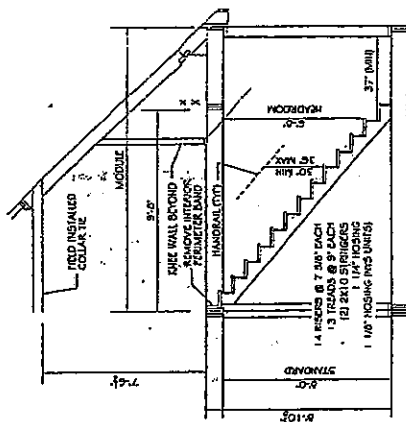


**TYPICAL BASEMENT STAIR FRAMING
(PERPENDICULAR TO MARRIAGE WALL)**



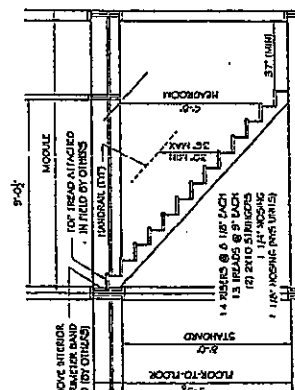
**TYPICAL BASEMENT STAIR FRAMING
(PARALLEL TO MARRIAGE WALL)**

CEILING HEIGHT	JOIST DEPTH	RUSSES	RISER HEIGHT
8'-0"	9 1/4"	1 1/4	7 5/8"
8'-0"	9 1/2"	1 1/4	7 5/8"
8'-6"	9 1/4"	1 1/4	8 1/16"
8'-6"	9 1/2"	1 1/4	8 1/16"

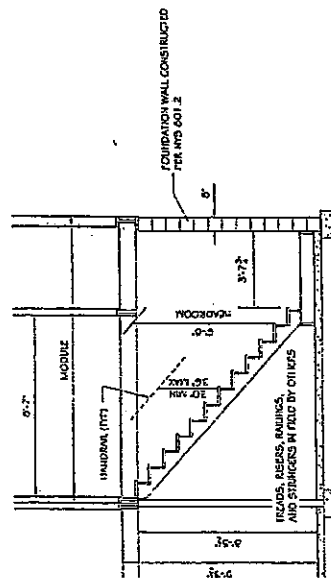


TYPICAL SINGLE RUN CAPE STAIR

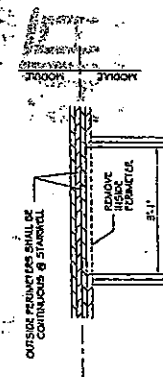
CEILING HEIGHT	JOIST DEPTH	ROOFS	RISER HEIGHT
8'-0"	5 1/4"	14	8 1/8"
8'-0"	5 1/2"	14	8 1/8"
8'-0"	5 3/4"	15	8"
8'-0"	5 1/2"	15	8"
8'-0"	5 3/4"	15	7 7/8"
8'-0"	5 1/4"	16	7 7/8"
8'-0"	5 1/2"	16	7 7/8"



TYPICAL SINGLE RUN TWO-STORY STAIR



TYPICAL BASEMENT STAIR
(ON SITE BY OTHERS)



SINGLE RUN STAIR PERIMETER DETAIL

MODULAR BUILDING SYSTEMS
TYPICAL
STAIR DETAILS

APPROVED BY
FEB 02 2010
NIA INC.
MICHAEL A. FALLER

I **B** **S**
INTEGRITY **BUILDING** **SYSTEMS**
221 FARM DRIVE
MONTICELLO, PA 17202

Order #: 520109
Date: 5/20/2019
5:20 PM
5/20/2019 5:20 PM

S411-0

J. Chimney Termination Requirements

- Install a cap approved and listed for this fireplace system.
- Locate cap where it will not become plugged by snow or other materials.
- Locate cap away from trees or other structures.
- The bottom of the termination cap must be at least 3 ft (.91 m) above the roof AND at least 2 ft (.61 m) above any portion of roof within 10 ft (3.05 m) as shown in Figure 8.10.
- The distance required between caps is shown in Figure 8.10.

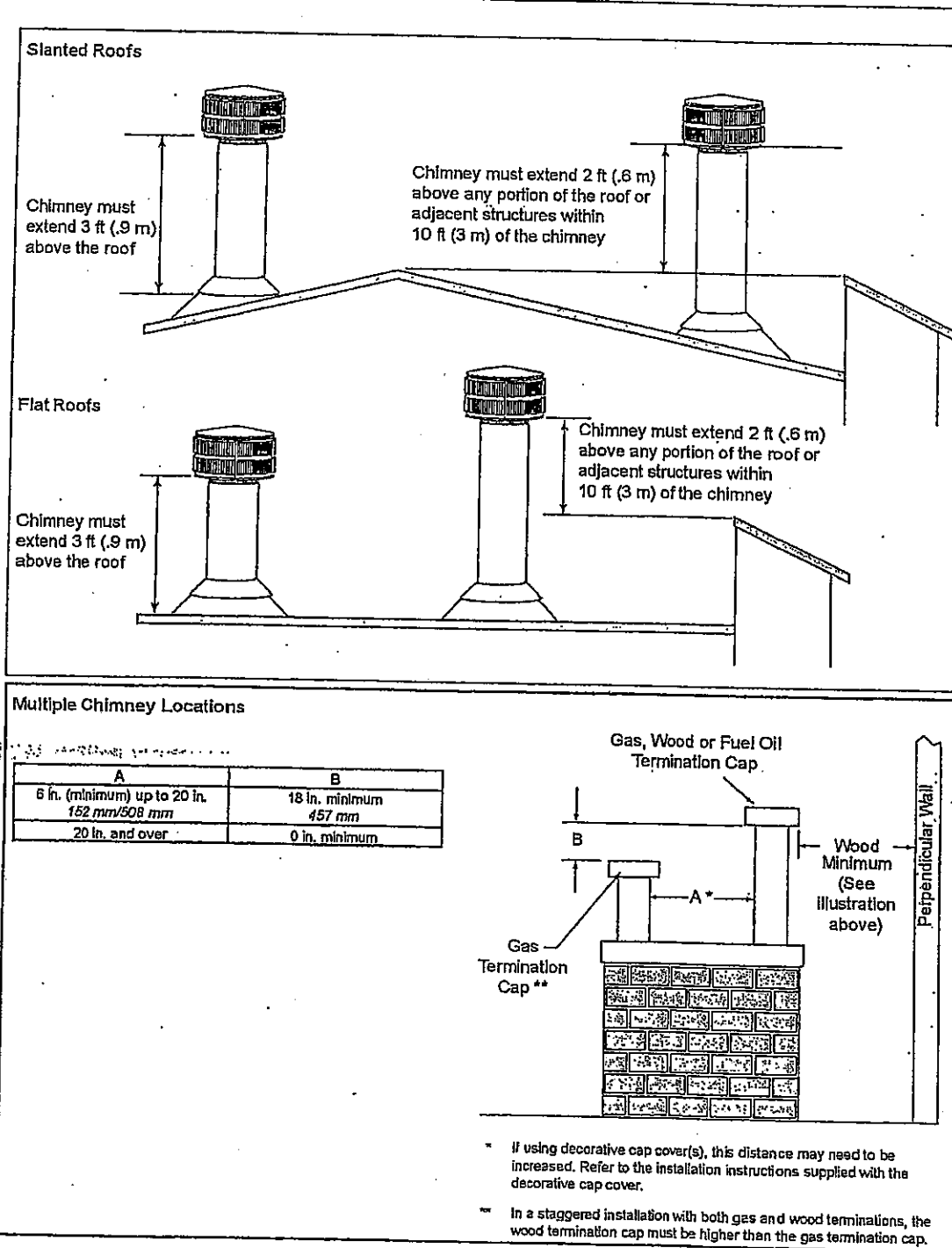


Figure 8.10 Multiple Chimney Locations

Air Barrier And Insulation Inspection Procedures

Air Barrier and Insulation Inspection Component Criteria

NUMBER	COMPONENT	CRITERIA
1	Air barrier and thermal barrier	Exterior thermal envelope insulation for framed walls is installed in substantial contact and continuous alignment with building envelope air barrier. Breaks or joints in the air barrier are filled or repaired. Air-permeable insulation is not used as a sealing material. Air-permeable insulation is inside of an air barrier.
2	Ceiling/attic	Air barrier in any dropped ceiling/soffit is substantially aligned with insulation and any gaps are sealed. Attic access (except unvented attic), knee wall door, or drop down stair is sealed.
3	Walls	Corners and headers are insulated. Junction of foundation and sill plate is sealed.
4	Windows and doors	Space between window/door jambs and framing is sealed.
5	Rim joists	Rim joists are insulated and include an air barrier.
6	Floors (including above-garage and cantilevered floors)	Insulation is installed to maintain permanent contact with underside of subfloor decking. Air barrier is installed at any exposed edge of insulation.
7	Crawl space walls	Insulation is permanently attached to walls. Exposed earth in unvented crawl spaces is covered with Class I vapor retarder with overlapping joints taped.
8	Shafts, penetrations	Duct shafts, utility penetrations, knee walls and flue shafts opening to exterior or unconditioned space are sealed.
9	Narrow cavities	Batts in narrow cavities are cut to fit, or narrow cavities are filled by sprayed/blown insulation.
10	Garage separation	Air sealing is provided between the garage and conditioned spaces.
11	Recessed lighting	Recessed light fixtures are air tight, IC rated, and sealed to drywall. Exception—fixtures in conditioned space.
12	Plumbing and wiring	Insulation is placed between outside and pipes. Batt insulation is cut to fit around wiring and plumbing, or sprayed/blown insulation extends behind piping and wiring.
13	Shower/tub on exterior wall	Showers and tubs on exterior walls have insulation and an air barrier separating them from the exterior wall.
14	Electrical/phone box on exterior walls	Air barrier extends behind boxes or air sealed-type boxes are installed.
15	Common wall	Air barrier is installed in common wall between dwelling units.
16	HVAC register boots	HVAC register boots that penetrate building envelope are sealed to subfloor or drywall.
17	Fireplace	Fireplace walls include an air barrier.

* SEE FIGURES 20 THRU 24.

APPROVED BY

NIA

JUN 8 2010

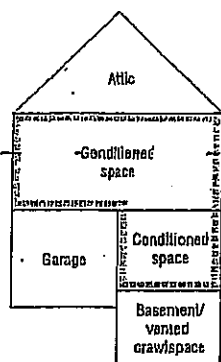
MICHAEL A. FALLER

BUILDING THERMAL ENVELOPE

Building Thermal Envelope — The basement walls, exterior walls, floor, roof, and any other building element that encloses conditioned space. This perimeter also includes the boundary between conditioned space and any exempt or unconditioned space.

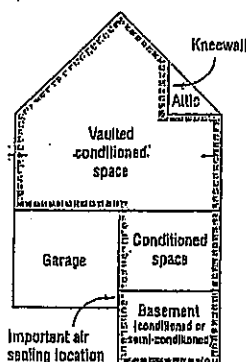
The *building thermal envelope* is the barrier that separates the conditioned space from the outside or unconditioned spaces. The building envelope consists of two parts - an air barrier and a thermal barrier that must be both continuous and contiguous (touching each other). In a typical residence, the building envelope consists of the roof, walls, windows, doors, and foundation. Examples of unconditioned spaces include attics, vented crawlspaces, garages, and basements with ceiling insulation and no HVAC supply registers.

Example 1



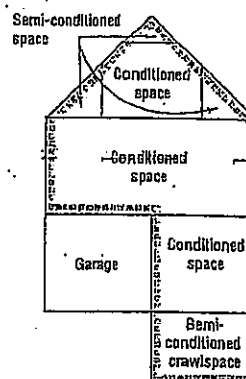
This is a conventional approach that likely locates all ductwork in unconditioned spaces.

Example 2



If supply registers deliver conditioned air to basement, it is considered conditioned. With no supply air, it is considered a semi-conditioned space.

Example 3



The top conditioned floor functions as a vaulted ceiling with interior walls although it appears to have kneewalls and a flat ceiling. An advantage of this approach is that all upstairs ductwork is located inside the building envelope.

The crawlspace walls are insulated and do not contain vents. The crawlspace ground is covered with concrete or 100% plastic to function as a "mini-basement."

N1103.2 Ducts.

N1103.2.1 Insulation. Supply ducts in attics shall be insulated to a minimum of R-8. All other ducts shall be insulated to a minimum of R-6.

Exception: Ducts or portions thereof located completely inside the *building thermal envelope*.

N1103.2.2 Sealing. Ducts, air handlers, filter boxes and building cavities used as ducts shall be sealed. Joints and seams shall comply with Section M1601.4. Duct tightness shall be verified by either of the following:

1. **Post-construction test:** Leakage to outdoors shall be less than or equal to 8 cfm (3.78 L/s) per 100 ft² (9.29 m²) of conditioned floor area or a total leakage less than or equal to 12 cfm (5.66 L/s) per 100 ft² (9.29 m²) of conditioned floor area when tested at a pressure differential of 0.1 inch w.g. (25 Pa) across the entire system, including the manufacturer's air handler end closure. All register boots shall be taped or otherwise sealed during the test.
2. **Rough-in test:** Total leakage shall be less than or equal to 6 cfm (2.83 L/s) per 100 ft² (9.29 m²) of conditioned floor area when tested at a pressure differential of 0.1 inch w.g. (25 Pa) across the roughed in system, including the manufacturer's air handler enclosure. All register boots shall be taped or otherwise sealed during the test. If the air handler is not installed at the time of the test, total leakage shall be less than or equal to 4 cfm (1.89 L/s) per 100 ft² (9.29 m²) of conditioned floor area.

Exception: Duct tightness test is not required if the air handler and all ducts are located within *conditioned space*.

N1103.2.3 Building cavities. Building framing cavities shall not be used as supply ducts.

APPROVED BY

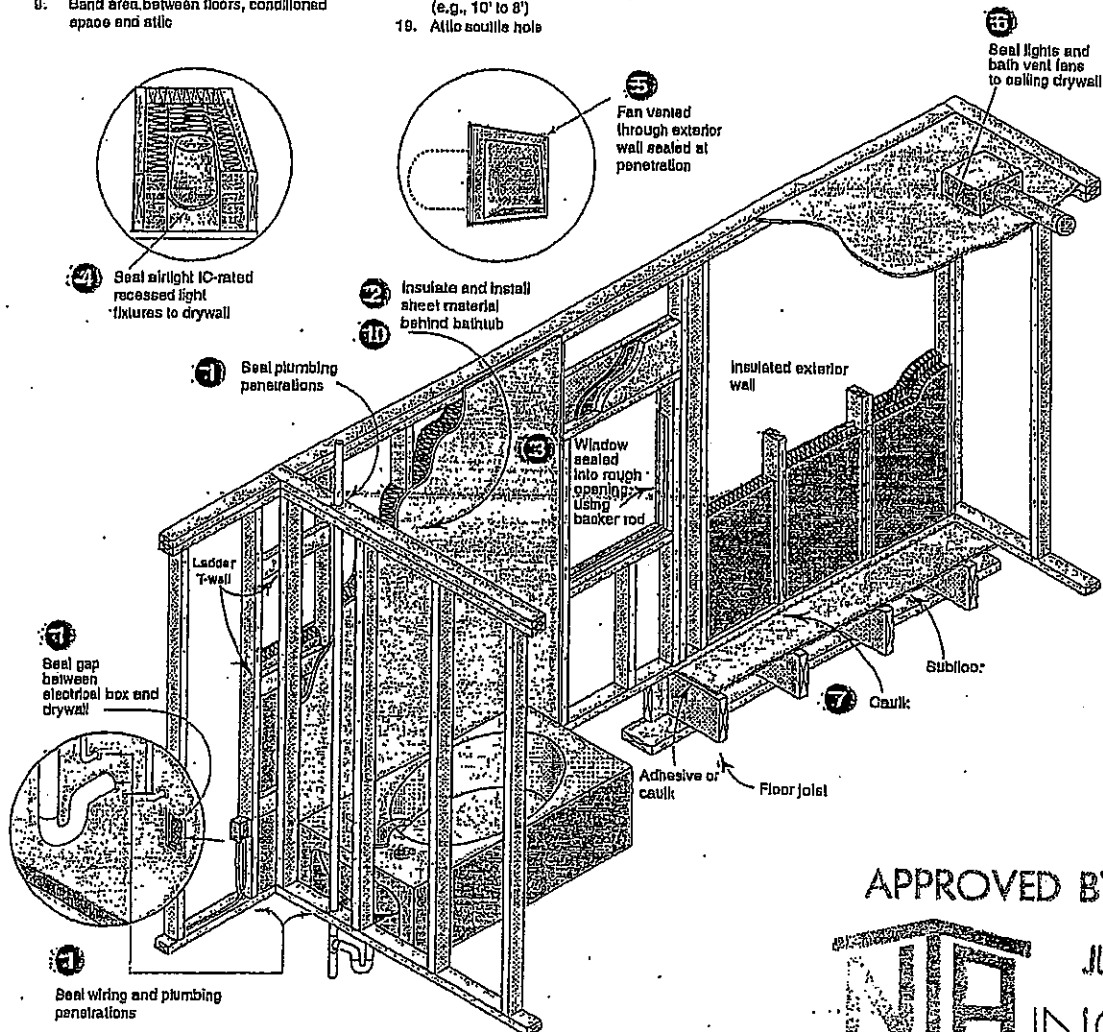
NIA INC.
MICHAEL A. FALLER

JUN - 8 2010

AIR SEALING KEY POINTS

Air sealing key points

1. Building envelope plate and wall plumbing and electrical penetrations
2. Tub/shower on outside or attic wall
3. Window and door rough openings
4. Airtight, IC-rated recessed lights and electrical fixtures exposed to attic
5. Exterior wall exhaust fan terminations
6. Ceiling mounted bath fans, speakers, etc.
7. Bottom plate and top plate
8. Seams between rigid exterior sheathing
9. Band area between floors, conditioned space and attic
10. Tub on exterior wall
11. Mechanical equipment and ductwork chases in attics, crawlspaces
12. Ceiling/crawlspace electrical boxes
13. Ceiling/crawlspace HVAC boots
14. Shower and tub drain line
15. Fireplace inserts
16. Attic kneewall doors
17. Joist cavities under attic kneewalls
18. Transition between ceiling heights (e.g., 10' to 8')
19. Attic soffit hole
20. Attic pull-down stairs
21. Wall penetrations of mechanical combustion closets
22. Thresholds at mechanical combustion closet doors
23. Band joist exposed to exterior
24. Band area exposed to unconditioned space (such as basement or garage)
25. Exterior wall penetrations for refrigeration lines, condensate line, etc.



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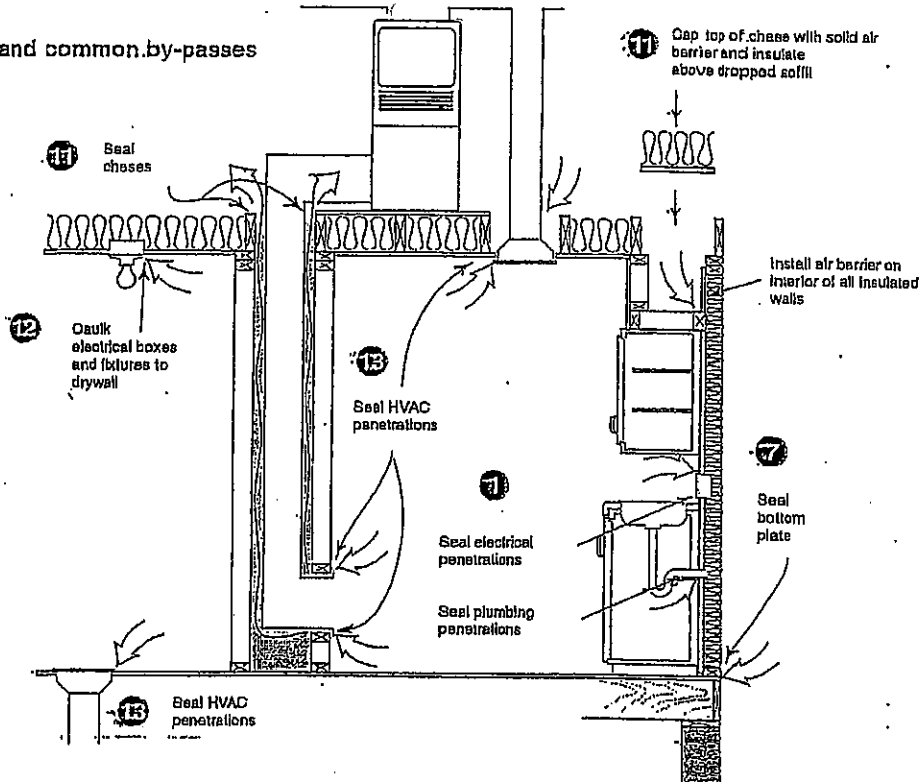
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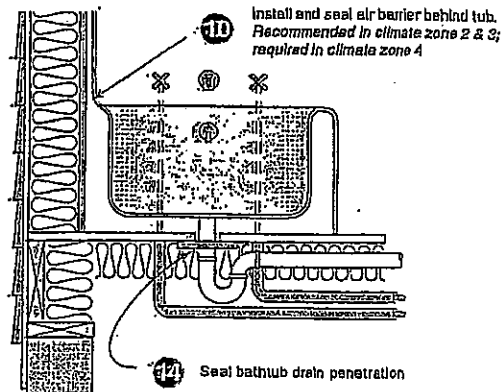
FIGURE 20

Air sealing key points *continued*

Chases and common by-passes



Shower/tub drain rough opening



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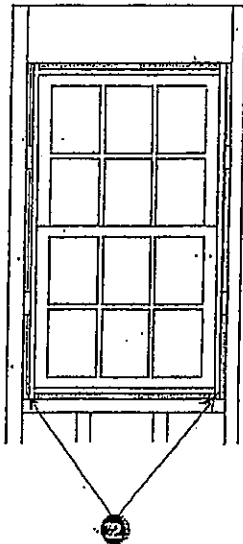
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FIGURE 21

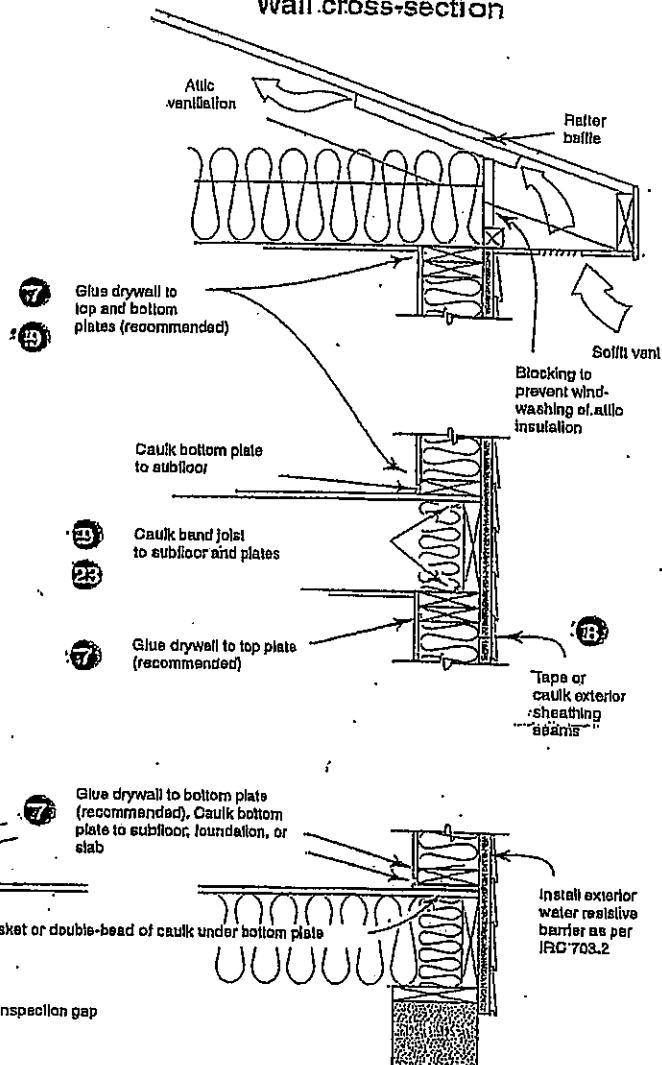
Air sealing key points *continued.*

Window rough opening



Use backer rod or spray foam (appropriate for windows) to fill gaps between window/door and rough opening

Wall cross-section



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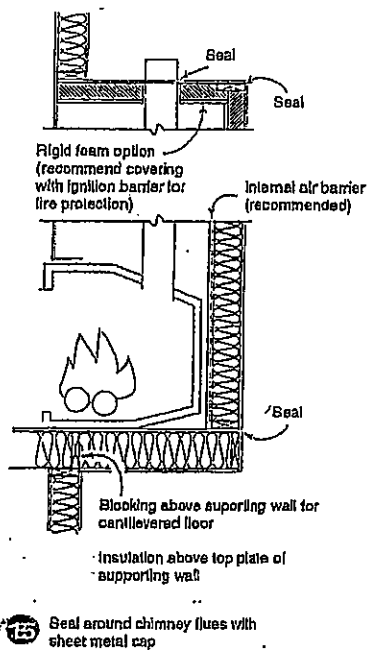
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FIGURE 22

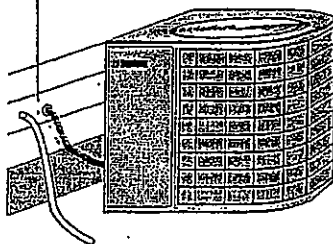
Air sealing key points *continued*

Combustion chase penetrations



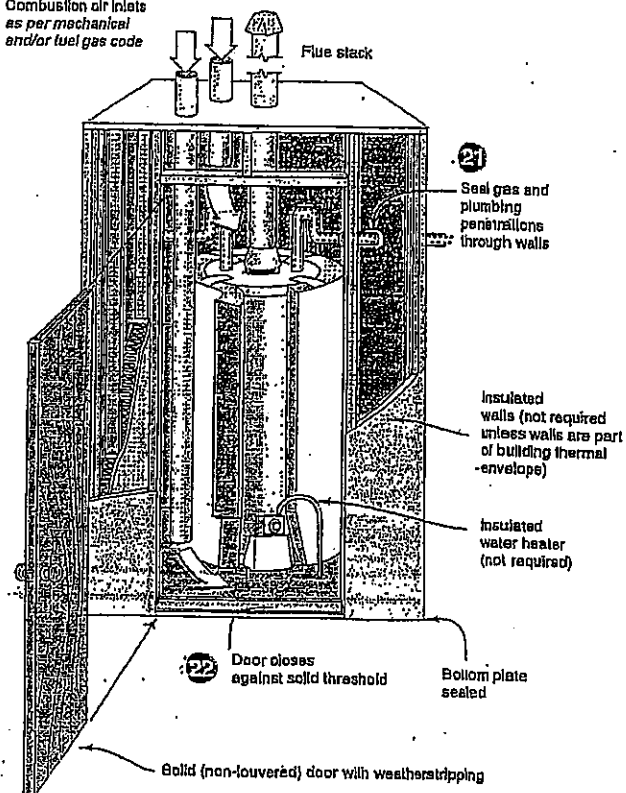
Exterior penetrations

- 25 Caulk exterior wall penetrations for refrigeration lines, condensate line, etc.



Combustion closet

Combustion air inlets as per mechanical and/or fuel gas code



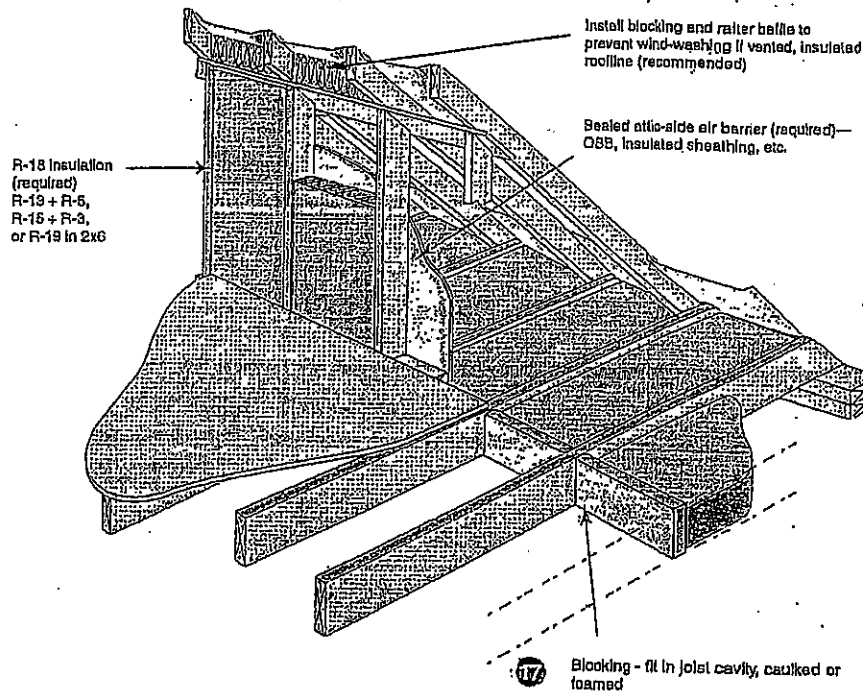
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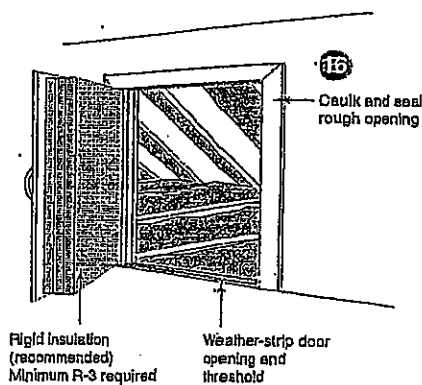
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FIGURE 23

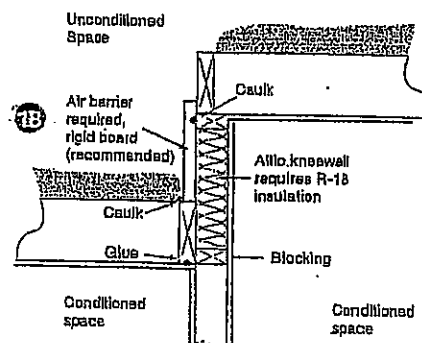
Air-sealing key points *continued*



Attic knee-walls



Two-level attic



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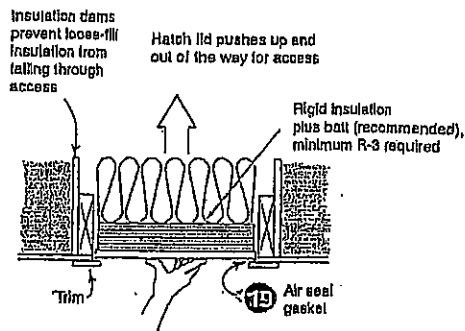
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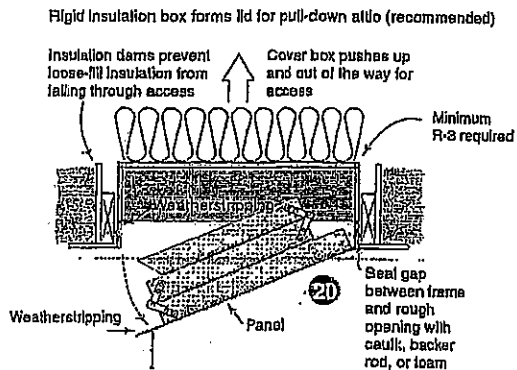
FIGURE 24

Air sealing key points *continued*

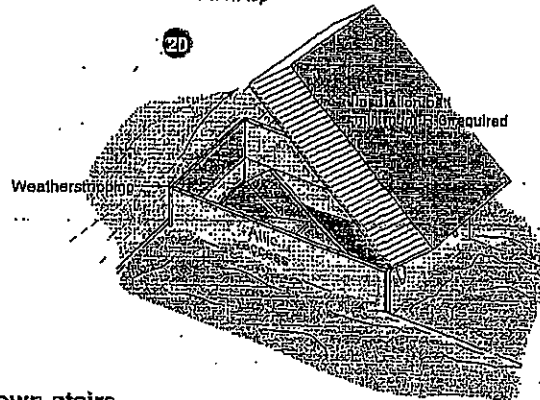
Attic scuttle



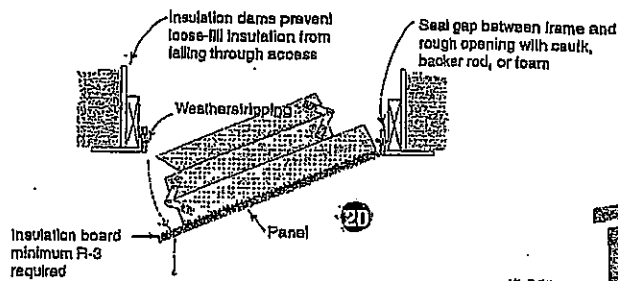
Attic pull-down stairs



Boxed enclosure for attic stairs has rigid hinged lid with insulation on top



Attic pull-down stairs



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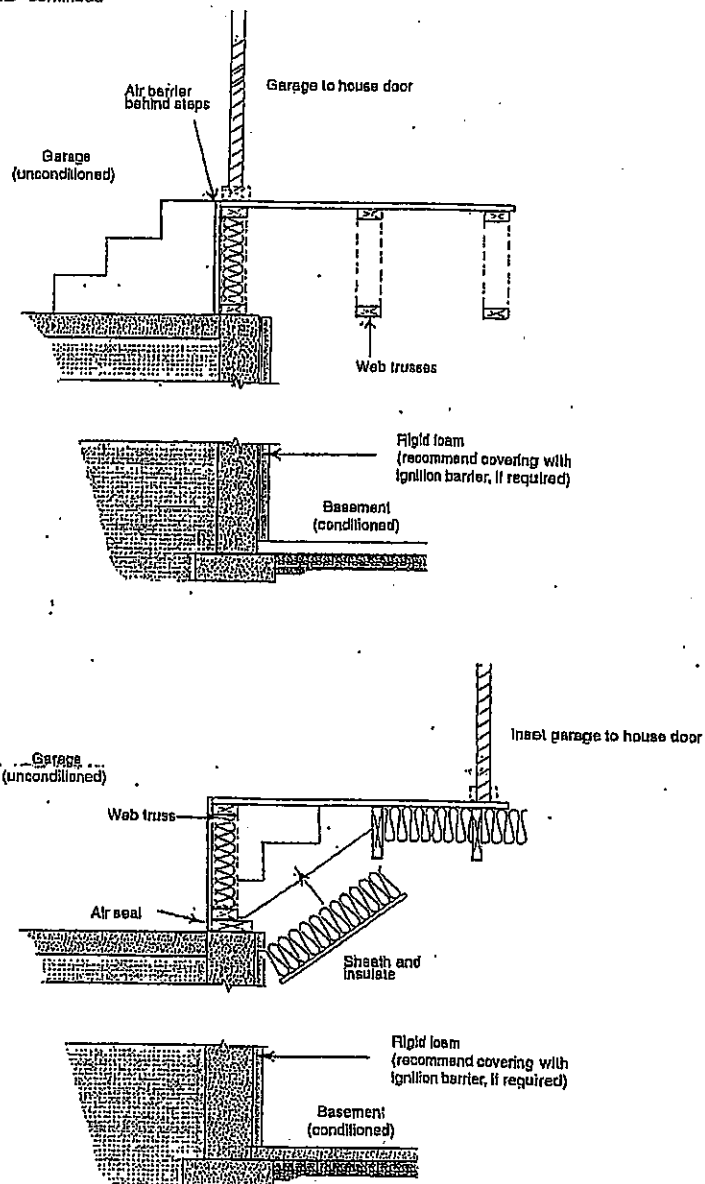
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FIGURE 25

Air sealing key points *continued*



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FIGURE 26

Site Installation Inspection Report

Integrity Building Systems, Inc.
2435 Housels Run Road, Milton PA 17847
Phone: (570) 522-3600 Fax: (570) 522-0089

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BUILDER: _____ House Serial No. _____
OFFICE LOCATION: _____ STATE: _____ PHONE NO. () _____
SITE LOCATION: _____ MODEL TYPE: _____
FIELD INSTALLATION CREW: _____ PHONE NO.: _____

*For Pennsylvania only: All labels/insignia's/data sheets will be placed in the Kitchen sink base cabinet; or if cabinets are omitted, in Bedroom #1 closet.

A. FOUNDATION AND JOB SITE: To be inspected by the builder or his authorized representative to insure jobsite readiness for house installation. Thirty-six (36) hours positive contact notice is required to set up crew, if site is not ready. If conditions are such that set up crew chief determines that work cannot safely begin, then crew chief shall contact builder to iron out a workable solution to the problem. If the crew cannot set that day then a \$500.00 flat fee shall be assessed the builder. These delays do not include any weather related or ACTS of GOD delays. Those delays must be coped with jointly in arriving at a non-penalty solution.

1. _____ Foundation dimensions and squareness confirmed to plans.
2. _____ Sill plate and foundation anchors/straps installed per plans prepared by design professional.
3. _____ Location of columns/piers confirmed to plans.

B. HOUSE FIELD INSTALLATION: This section must be checked as the work progresses by the installation Crew Chief to insure proper work and quality of workmanship. The builder or his representative should check during the workday on the quality of workmanship by circling OK or NG (No Good) on task performed. This will prevent misunderstandings at the end of the workday. All NG tasks must be reworked by the crew to the satisfaction of the builder. The installation crew is responsible for insuring that the building is weathertite at the end of each day (for multi-day sets), and at completion of the set. Tarps or other means of temporary weatherproofing is acceptable on multi-day sets, however those temporary means are not considered as meeting the terms of a completed set.

Crew Chief Initial	Tasks	Builder Circle	
1. _____	Remove close in material and flush all staples and nails from center walls, remove all lag bolts from frame.	OK	NG
2. _____	Align house on foundation wall, raise roof.	OK	NG
3. _____	Align modules to meet evenly at floor, ceiling, roof. Remove any racking that has occurred during shipment or craning onto the foundation.	OK	NG
4. _____	Level all floors and bolt center beam, 1 st , 2 nd , or 3 rd floors per plans provided.	OK	NG
5. _____	Install-Builder provided jack posts or lolly columns	OK	NG
6. _____	Align roof ridge, and overhangs, and properly secure w/metal straps and/or nails.	OK	NG
7. _____	Install collar ties when roof design requires, at proper ceiling height per plan.	OK	NG
8. _____	Ease hinged eaves (overhang) into place (if required) And secure at roof seam & soffit lip to exterior wall.	OK	NG
9. _____	Install gable end panels and sheathing. Space panels as per plans. Shim gaps between panels before connecting panels. Panels must be plumb to accept siding.	OK	NG
10. _____	Install shipped loose water resistant barrier on completed gable ends.	OK	NG
11. _____	Install overhang shingles—align with factory installed shingles—shingle roof.	OK	NG
12. _____	Secure the perimeter band joists to sill plate, install required strapping per plans.	OK	NG
13. _____	Check factory installed exterior doors. Adjust as required for proper operation.	OK	NG
14. _____	For multi-story buildings install sheathing panels across joint of floor/ceiling each story. Overlap and complete installation of the water resistant barrier each story.	OK	NG
15. _____	Clean-up all scrap materials and rubbish, and place in container or at one location.	OK	NG
16. _____	Visual inspect sealing of Thermal Envelope per section N 1102.4.	OK	NG
17. _____	Rough-in test for Total Air Leakage per section N 1103.2.	OK	NG

IBS will not assume responsibility for any water damages resulting from an incomplete or improper set.

General Remarks: _____

When floor insulation is not installed by IBS, the Builder is responsible for the installation of either floor or foundation wall insulation in conformance to the applicable code requirements. Window Guards may need to be installed, when required by on-site grade conditions.

The undersigned as the Builder or his authorized representative accepts the workmanship of the installation crew authorizes payment for the work performed in the amount of \$ _____.

Signed _____ Title _____ Date _____

INTEGRITY BUILDING SYSTEMS, INC.

INSTALLATION SYSTEMS AND PROCEDURES

FOR SETTING

MODULAR HOUSING

APPROVED BY

 NIA INC.

MAR 7 2011

MICHAEL A. FALLER

INTEGRITY BUILDING SYSTEMS, INC.

2435 HOUSELS RUN ROAD

MILTON, PA 17847

PHONE: (570) 522-3600


FAX: (570) 522-0074

Rev. 1/18/11


INTEGRITY BUILDING SYSTEMS, INC.
GENERAL INFORMATION

PURPOSE OF MANUAL:

1. THE PURPOSE OF THIS INSTALLATION MANUAL IS TO PROVIDE FIELD PERSONNEL WITH SUFFICIENT INFORMATION TO ENABLE THEM TO PREPARE THE SITE AND FOUNDATION, PROVIDE ADEQUATE UTILITIES, SET THE MODULAR UNITS, COMPLETE EXTERIOR AND INTERIOR FINISHINGS, AND FINALLY TURN OVER THE BUILDING TO THE OWNER.
2. ALL OF THE SUGGESTED PROCEDURES HEREIN DEPEND PRIMARILY ON CLOSE CO-OPERATION AMONG MEMBERS OF ERECTION CREW. IT IS TO THE ADVANTAGE OF ALL CONCERNED THAT THEY BE FAMILIAR WITH THE VARIOUS PROCEDURES FOR THE ERECTION AND THE SPECIFIC FEATURES FOR THE MODULAR HOUSE. THROUGH THE FOLLOWING DESCRIPTIONS STRESSES SOME PROCEDURES, THERE IS NO SANCTION OR CONDEMNATION INTENDED REGARDING ANY OTHER ERECTION PROCEDURE. IT IS THE BUILDER OR HIS REPRESENTATIVES RESPONSIBILITY TO SELECT THE METHODS AND PROCEDURES BEST SUITED FOR HIS OPERATION, AND TO DETERMINE ADEQUACY REQUIREMENTS ON SAFETY, ERECTION EASE, MATERIAL COSTS, AND FABRICATIONS.
3. ALL OF THE SUGGESTIONS HAVE BEEN MADE WITH THE FOLLOWING CRITERIA IN MIND:
 - TO SET THE MODULES AS QUICKLY, EFFICIENTLY, AND AS INTACT AS POSSIBLE.
 - TO UTILIZE EQUIPMENT MANAGEABLE BY A FOUR (4) MAN CREW.
 - TO USE EQUIPMENT THAT WILL BRING THE MODULES AS CLOSE TOGETHER AS POSSIBLE IN THE ERECTION SEQUENCE.
4. ALLTHOUGH THE FOUNDATION AND SITE LAYOUT PLANS AND SPECIFICATIONS ASSUME A LEVEL SITE PREPARED UNDER NORMAL CONDITIONS, CLOSE ADHEARENCE TO THE RECOMMENDATIONS CONTAINED IN THIS MANUAL WILL GREATLY FACILITATE THE INSTALLATION OF THE MODULES. ACCORDINGLY, THE DATA, PROCEDURES, AND DESIGN PRESENTED HEREIN SHOULD BE CAREFULLY REVIEWED, UNDERSTOOD, AND ADAPTED TO THE SITE PRIOR TO COMMENCING WORK.
5. INTEGRITY BUILDING SYSTEMS, INC. BUILDS ALL MODELS TO THE MOST RECENT EDITION OF THE ADOPTED STATE CODE OF THE RECEIVING STATE. THOSE APPLICABLE CODES ARE:
 - INTERNATIONAL RESIDENTIAL CODE
 - INTERNATIONAL BUILDING CODE
 - INTERNATIONAL ENERGY CONSERVATION
 - INTERNATIONAL PLUMBING CODE
 - INTERNATIONAL MECHANICAL CODE
 - NATIONAL ELECTRICAL CODE

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- MASSACHUSETTS STATE BUILDING CODE
 - MASSACHUSETTS STATE FUEL/GAS/PLUMBING CODE
 - NEW YORK RESIDENTIAL CODE
 - NEW YORK ENERGY CONSERVATION CONSTR. CODE
 - PENNSYLVANIA ENERGY CODE-PA BULLETIN #16
 - OHIO RESIDENTIAL CODE
 - OHIO BUILDING CODE
 - OHIO PLUMBING CODE
 - OHIO MECHANICAL CODE
 - NATIONAL STANDARD PLUMBING CODE
 - ANSI A117.1
 - AS THE BUILDER YOU ARE RESPONSIBLE TO NOTIFY INTEGRITY BUILDING SYSTEMS, INC. BEFORE CONSTRUCTION OF YOUR HOME BEGINS ALL OF LOCAL CODE REQUIREMENTS.
6. SOME STATES/COMMONWEALTHS HAVE ESTABLISHED REQUIREMENTS REGARDING LICENSING AND REGISTRATION FOR BUILDERS AND INSTALLERS. YOU ARE RESPONSIBLE FOR COMPLIANCE TO THESE REGULATIONS:
- RHODE ISLAND: ALL BUILDERS/INSTALLERS MUST BE REGISTERED.
 - MASSACHUSETTS: A LICENSED MASSACHUSETTS CONSTRUCTION OFFICIAL MUST BE ON-SITE THE DAY OF THE SET.
 - MODEL SPECIFIC PLANS, DETAILS, FASTENING INSTRUCTIONS, ETC., WILL SUPERCEDE ANY SIMILAR DETAIL OR INSTRUCTION CONTAINED IN THIS MANUAL.

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DATA PLATE AND STATE SEALS:

DATA PLATE AND STATE SEALS:

1. The location of the third party data plate and state seals are marked on the final floor plan. They are generally located under the kitchen sink and in a secondary bedroom closed, or vanity sink cabinet, per plan.
2. DO NOT ALTER, DEFACE OR REMOVE LABELS OR THE DATA PLATE UNDER ANY CIRCUMSTANCES!

INSTALLATION CONTROL:

INSTALLATION PROCEDURES INCLUDE COMPONENT PLACEMENT, EQUIPMENT AND PROCEDURES, FIELD ERECTION AND FINISH WORK, UTILITY CONNECTION INSTRUCTIONS, AND APPROPRIATE ON-SITE INSPECTION CRITERIA AND TEST DESCRIPTIONS.

ON-SITE WORK BY OTHERS:

The following operations must be performed at the site of the installation:

1. Survey of property and preparation of site conforming to local and state requirements.
2. Secure Building Permit
3. Excavate for and construct basement or crawl space. Lolly columns to be installed during the set of house in accordance with the specifications shown on SHT.F1 of I.B.S., INC submissions set.
4. Install water service piping from main house or install private well and service piping and complete water piping in basement. (House is shipped with water lines stubbed off at bottom of first floor joists. (See Below*))
5. Connect to public sewage systems or install private sewage system. Complete drainage system piping in basement. (House is to be shipped with all drain lines stubbed off at bottom of first floor joists. (See Below*)).
6. Tap into utility lines at property line and run electrical service to the house. Complete electrical hookups in junction boxes and/or "Molex" connectors provided in the underside of the first story floor. Install service equipment and meter.(See Below*)
7. Install gas service piping, if applicable.
8. Connect hot water heating system, or forced air system as applicable.
9. Install telephone and/or cable.
10. Complete final grading, driveway and landscaping.
11. Secure all necessary approvals after inspection of on-site work. Obtain Certificate of Occupancy.
12. If the state requires a licensed official present during the erection of the units, it is the responsibility of builder to make the arrangements.

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14. Draft/Fire stopping shall be provided in concealed wall spaces at the floor and ceiling levels, at connections between horizontal and vertical spaces, in concealed spaces between stair stringers, at the top and bottom of the run, and at openings around vents, pipes, ducts, chimneys, and fireplaces at the floor and ceiling levels with non-combustible materials.

15. If conditions prevent permanent finishing of the roof and/or exterior wall at the time of the erection, an interim system must be used. Utilizing some of the "polyurethane" sheeting previously removed from the module mating walls, or other means; such as a tarp, cap the roof and exterior walls making it weather tight, and secure it properly so as to prevent the wind from tearing it off. NOTE: This should not be done unless it is impossible to seal the modules in the correct permanent manner. EVERY EFFORT SHOULD BE MADE TO MAKE WEATHER TIGHT THE UNITS AS PRESCRIBED HEREIN, IMMEDIATELY AFTER ERECTION.

16. Testing of completed DWV and Water Supply Systems to be performed onsite by others. Testing Procedures are included in this manual on pages 35 and 36.

*INTERCONNECTION BETWEEN FLOORS TO BE COMPLETED ON-SITE BY OTHERS

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THE FOLLOWING PROCEDURES FOR FIRESTOPPING MUST BE
STRICTLY ADHERED TO FOR ALL MODULAR PRODUCTS.

(SEE FIGURE FS-1)

1. All floor and ceiling penetrations in exterior wall cavities and or interior partitions (tub/shower access) are considered fire stopped if full-thick insulation is installed in the stud bay, and insulation is used to fill any voids of those penetrations when oversized.
2. All floor and ceiling penetrations that occur in spaces other than exterior walls must be sealed with either drywall mud (all electrical wires and/or plumbing vents), fire rated caulk or insulation (all plumbing penetrations through the floor). Oblong or routed holes that occur under vanities and sink bases which cannot be sealed with caulking must have a pre-drilled 1/2" plywood collar (or equal) installed from the underside of the floor and fastened to the decking with 1" staples so that caulking may then be applied(see FS-1).

3. All penetrations through vertical wall surfaces must be fire stopped by sealing around the pipe with drywall mud, or Fire rated Caulk.
4. First floor decking material that is cut away to provide working space and access to "P" traps must be fire stopped by installing full depth block (s) between the floor joist (s) and adding a panel sealing the framed in area using 23/32" wood structural panel or 1/2" gypsum board. This will be completed on site by others after completion of plumbing. This also applies to all plumbing and/or HVAC chases.
5. The caulking of all floor penetrations as outlined in #2 can be omitted in lieu of installing a minimum of 6" (R-19) of insulation over the entire floor area and stuffing all voids with insulation. "P" trap fire stopping must be maintained as outlined in #4 above.
6. Register boots will be considered fire stopped if the top edge of the boot is extended above the floor decking, bent to cover/seal penetration and sealed with acoustical sealant applied at the corners as necessary.

FOUNDATION

(See figure 1)

Simply put, a modular home cannot be positioned on a foundation that is not accurately built. It is critical that the foundation be checked for length, width, squareness, and plumb. If the foundation is not correct, it must be corrected to allow the mating of the house to the foundation. The units cannot be changed in the shape by twisting and racking to fit a foundation that is not correct. Required heights of foundation, walls, piers and/or lolly columns must be checked to allow for accurate positioning of the units. Refer to the construction prints for additional supports and all dimensions. Refer to the I.B.S, INC. submission set for pier and/or lolly column spacing.

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IF THE TOP OF THE FOUNDATION OR COLUMNS ARE OUT OF LEVEL OR HAVE HIGH AND LOW SPOTS, THE HOUSE WILL SETTLE TO CONFORM TO THOSE CONDITIONS CAUSING DRYWALL CRACKS AND BINDING OF DOORS AND WINDOWS.

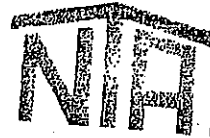
1. Diagonal variation: 1/2" maximum
2. Level variation: 1/8" maximum
3. A set crew can refuse to set a house on a foundation they feel is inadequate.
4. IBS Inc. will not be liable for damages to the foundation or modules resulting from foundations not prepared from professionally designed plans, or nonconformance to code requirements or site conditions.
5. Basement floors need not be poured prior to setting the house, BUT if they are not poured, concrete footers must be installed for placement of columns.

MODULE ERECTION AND SITE INSTALLATION PROCEDURES:

Erection instructions, as outlined herein, are intended to indicate necessary steps for completion of the field installation of I.B.S. Inc. modules. The installer must first review the construction drawings for the specific building involved. As installation work in the field may vary with individual models and buildings, advanced planning in anticipation of the crane location and module transporters will allow for the installation to be completed in a minimum of time. Connection details and systems interconnection requirements will be shown in the submission set and are calculated for intended loading. These details are to be used in conjunction with related information outlined in these procedures. When plan specific details differ from those included in this Manual they will supercede.

The builder will determine the sequence in which the finish work is to be accomplished considering site conditions, weather and availability of utilities for heat and power.

Initially, the units must be weatherproofed as early as possible. The electrical power and heating hookup within the unit should be next. The electrical hookup can be made as soon as the junction box connections from module to module are made, and all direct feeds to electrical panel

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are completed. Plumbing hookups can be made immediately after structural connections are made.

To allow for early completion of basement stairs, basement and garage floors should be poured before home delivery of the units. This will also allow for easier garage erection, if provided. Unfinished floors increase reaching distance and make the setting operation more difficult and dangerous. Unpoured garage floors make the setting of two garage headers more difficult for the builder. Therefore, foundation work must be completed as early as possible.

The Following is a suggested list of minimum requirements that are to be met:

1. Adequate access to the site and satisfactory unloading areas are to be provided by the builder.
2. Entrance to the site and unloading areas cannot slope more than the twelve inches in twenty feet. The access and delivery area needs too be compacted or the area should be on undisturbed soil capable of supporting the units and transporting equipment. This area should also be smoothly graded.
3. Shrubs, wires and trees are to be removed to allow access for the transporters and modules.
4. Tow-in costs are responsibility of the builder and include idle labor costs while waiting for adequate tow-in equipment to arrive.
5. The unloading area (generally the front of the house) should also be level and compacted or undisturbed soil with adequate clearance for the crane and all module units. It should also provide the installation crew ample room to work in safety.
6. All access roads to the job site should also be compacted or undisturbed soils, be smoothly graded and have a clearance width of sixteen feet minimum and height of 15 feet and allow maneuvering of the crane and modules without sharp turns to prevent damage to the house or crane. The crane operator should be contacted ahead of delivery to visit the site to assure that he has no problems with the operation of equipment for its intended use and to assure that the setting distance does not exceed the crane capacity. (See figure 2 for general distance.)

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ERECTION INSTRUCTIONS:

1. Crane Setting

- A. Level site to grade. This will allow the modules to be spotted at a location that is sufficient to crane the home on the foundation without being repositioned.
- B. Individual module weights vary depending on length, style and the amount of finish material shipped in the unit. It is the responsibility of the crane operator to provide a crane with sufficient lifting and reach capability.
- C. Under ideal conditions, position modules and crane as shown in Figure 2. To minimize crane time, locate transporters before crane arrives. Position crane between transporters near the foundation and perpendicular to foundation. Provide adequate distance between the transporters to allow the crane to be centered between transporters and centered on foundation wall. Start with the unit farthest away. This will prevent the boom or spreader frame from being extended over any module

❖ DO NOT REMOVE ANY DEADMAN SUPPORTS

- D. 2x sill plates are the responsibility of the builder. These must be fastened with anchor straps or foundation bolts set by builder. (Spacing as required by applicable code or plans provided)

CAUTION: MAKE SURE THAT NUTS ARE COUNTERSUNK (IF ALLOWED BY CODE) AND ANCHOR BOLTS DO NOT EXTEND MORE THAN 1 ½" ABOVE THE TOP OF THE FOUNDATION SO THAT PROTRUDING ENDS DO NOT INTERFERE WITH MODULES.

Foundation anchors or strapping: as required by plans, is to be provided and installed by the Builder or his Sub-contractor.

(SEE FIGURE 3).

- E. The foundation dimensions should be the same as the rough floor of the actual unit. It is suggested that the sill plates be laid in the foundation square and to the actual dimensions of the rough floor of the unit
- F. See kneewall detail for installation instructions.

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G. See figures 4 thru 9 for foundation preparation and rigging for setting modules.

- ❖ With a saw, remove small wedge sections approximately 3" wide to 5" wide (at narrow point) from the sill plate, so lifting gear can be removed as each unit is set. (See Figure 4)
- ❖ If wedge cuts are not to be used on single story homes, or on two story homes where holes or notches are to be used, never notch or drill a hole any larger than and do not penetrate any higher in the perimeter band than the lifting device. (See Figure 5)
- ❖ If holes or notches are to be used, make sure the center bridging braces are also drilled or notched. CAUTION: Failure to do so could result in damage to the floor decking and floor coverings. (See Figure 5)
- ❖ The type of sling to be used is the contractor's option.

MODULE TO MODULE ASSEMBLY

TRUSS ROOF SET SEQUENCE

Ranch and Split Foyer Models

Prepare site and position modules upon delivery as shown previously. The day of the set, before the crane arrives, complete the following:

1. Measure foundation across corner for squareness. Shoot grade and shim under sill plate as needed to provide level foundation.
2. Measure modules in quarters and drill holes at the second and third quarters on outside perimeters for cables. Drive nails on bottom side of center beam at marriage wall to hold cables in place. Use this procedure on single story homes and the first floor of two story models. The top story

- of two story models must have holes drilled on both the inside and the outside perimeters. The holes should never be located higher in the perimeter than the diameter of the drill bit being used.
3. Pull all nails out of strips holding plastic but allow plastic to remain over the module..
 4. Install siding brackets, come along brackets, tag lines and have a padded 4x4 ready to install.
 5. Remove all lags from underside of unit.
 6. Cut lolly columns to length as stated earlier.
 7. Install setting blocks on foundation and prepare to install on top of lolly columns. Have jacks set up and ready to be used inside foundation.
 8. Mark foundation center points at both ends of sill plate.
 9. Loosen gable end panels from ends of the module and prepare to install
 10. When the crane arrives, finish removing plastic and padding. Check the marriage walls for nails or any other protruding items. This can all be done as the crane is setting up.
 11. Raise the roof on first module to be set. Install the gable and panels on the first module as you are raising the roof on the second module. Install the gable end panels on the second module as the first module is being set. **CAUTION:** Do not raise the roof above the fixed plane of the roof (overextend it) as this could damage the hinged truss plates and the sheathing. (See Figure 6)
 12. After both roofs are raised, hook cables up by running between nails at the marriage wall over the top of the carrier and through holes drilled during the preparation. Hook beackets up and have crane lift slightly to make sure the cables are even, so that no unnecessary stress is put on the module. You should have your cables adjusted so you have a slight tilt from outside to center and from end to end. This will make positioning the module on the foundation easier. If the module doesn't match the foundation, divide the difference up from the center point. This will reduce the amount of shimming necessary before bottom strips are installed for the bottom row of siding. Ease module down on foundation and on the setting blocks. (See Figure 8)
 13. Hook come along cables to second unit while easing it into place. When the outside corners touch down, draw the come along tight before easing the center point down. Leave come along hooked up until the basement center beam is bolted together. (See Figure 8)

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14. Stack the carriers in a location that allows easy access for removal. If shingles were shipped; for onsite installation, lift onto roof with crane.

At this point you should be done with the crane

15. Make sure center beams are even, bolt the modules together according to I.B.S Inc. set instructions. Using jacks, (See Figure 9), remove the setting blocks and ease the modules down onto the foundation and lolly columns. Next, finish the roof work to complete the weatherization. Check the roof for any racking that might have occurred during transportation and rack back even. (See Figure 10 for racking details.) Make sure that roof is raised to proper pitch.

a) On a fixed roof models, fasten the ridge beams together with 16d nails 16" o.c. and finish shingling the roof to peak and cap with ridge shingles and/or ridge vent.

b) On wider models, install framed top flip panels and fasten according to set instructions. After the cap is fastened in place, finish running the builder paper and complete the shingling to the peak and cap with ridge shingles and/or ridge vent.

16. Ease optional hinged overhangs down into place and fasten sheathing to stationary section and fasten overhang block to wall studs according to I.B.S. Inc. set instructions pages S-13 & S-14. Apply shingles where needed. **CAUTION:** Failure to properly secure overhang panels could result in severe damage to house and occupant.

17. Toe nail bottom perimeter of house to sill using 20d nails every eight inches on center. Check set instructions for additional required fastening to meet wind load requirements.

18. Once the hinged roof section is fully extended and knee wall is resting firmly in the space provided on the truss make a connection at top and bottom of the knee wall. Nail sheathing overlap from lift up portion of roof to fixed portion at 8" o.c. After the above steps are complete, you should have a weather tight home. Check set instructions for additional required fastening to meet wind load requirements.

CAUTION: Failure to fasten the sheathing to fixed portion of truss will result in a weakened roof condition and create a dangerous and unsightly ridge across roof.

Split Level / "T" Ranch Models (See Figure 19)

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Generally, procedures are identical to ranch/split foyer erection with the following special procedures or sequence:

1. It is suggested that the lower modules be set first. It is important that module "B" be set in its precise location since the upper modules must butt to it and the stairwell must line up. The module "A" is set as usual with ranch houses, tilting modules from center outward with 2x8x8's. Modules "A" and "B" should be bolted underneath by erection crew while others prepare modules "C" and "D" for setting. Once tilt blocks have been removed from the "A" and "B" modules, then proceed with standard ranch erection procedures on modules "C" and "D" being careful to mate both "A" and "B" modules to "C", as well as to each other.

CAUTION: Failure to follow this procedure prior to setting bedroom section on foundation will result in improper alignment of sections, roof and overhangs.

Four section Two Story Modules (See Figure 19)

1. Set first floor sections "A" and "B" on foundation as outlined previously. Bolt the floor and ceiling at center girders with ½" bolts (supplied) at 6' o.c. in floor and 6' o.c. in ceiling, or as plans provided specify.
2. Next, set the second story section (unit "D") lining up with the bottom story perimeter. Nail floor girder of "D" module to ceiling girder of "B" module with 20d common nails every 8" at marriage point before you set "C" module.
3. Next set the "C" unit aligning stair and door openings. Toenail box sills together with 16d common nails where exposed along floor between the two second story sections and install sheathing around exterior perimeter of the first and second story sills. The sheathing must be glued and nailed according to set instructions.

After Units Have Been Set

1. Set gable end panels into place. The roof may need to be lifted slightly to allow gable panel to be set. (Do not overextend truss) slide panels till tight fit.
2. Install one layer of #15 roofing paper over ridge.
3. Insert shingles on each side of peak.

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4. Cut roofing paper and shingles at peak to keep 3" air space for attic ventilation whenever ridge vent is required.
5. Install ridge vent.
6. Install roof caps, as needed.
7. The modular unit is to be securely toe-nailed to the sill plate using 20d nails spaces 8"o.c. around the perimeter of the unit. Check set instructions for additional fastening requirements.

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1. Modules are set in accordance to the standard setup procedures before erection of roof
2. Lift hinged section of roof using the same lifting guide as shown previously. Temporarily fasten knee walls in place.
3. Install gable end walls according to set instructions as provided in the House Specific Set-Up Manual. NOTE: On all rafter roofs, gable end walls are designed with a 1/2" minimum tolerance. Shim as necessary.
4. Rotate panels from folded position, or set ship loose panels, until they meet at peak. Panels must be temporarily supported until all connections have been made. Nail 2x4 rafter panel to 2x6 rafter panel with 16d nails at 8"o.c. Next, nail ridge boards together with 10d nails at 8"o.c. Once this is complete, attach 1 1/2"x22 gauge galvanized steel ridge straps at 48" o.c. (Check set instructions for specific fastening requirements)
5. Finish stacking carriers and lifting roof material onto roof to finish with crane
6. Fasten a collar tie at each end of roof after you are sure of a true pitch and roof line. Stretch a string from end to end to install remainder of collar ties according to set instructions.
7. Fasten knee walls, collar ties and ridge line as follows; finish remainder of shingling to complete weatherization of the home. (Check set instructions for specific fastening requirements)
8. After units are set and floor girders are bolted together with 1/2"x 8" bolts (supplied) at 6' o.c. (or as plans provided specify), raise 2x6 rafter panels and insert knee wall. Secure knee wall to rafters with two Teco Ty-Down Anchors or equal with 16d nails at top and bottom (1 anchor required at the top(hinge plate replaces anchor), 1 at the bottom of knee wall and staggered for 24' wide models).

wide models). Next, fasten gusset plates to rafter with 6d galvanized nails, 6 each side staggered. Install collar ties to each rafter and fasten with 8-10d nails (6-16d alternate) on each lie at each end.

9. Install 4x8 sheets of O.S.B. over mating line (2' on each side of mating line) with 6d nails or equal at 6"o.c. If floor/ceiling girder consists of 4 or 6 members, bolt girder together with ½" bolts at 6'o.c. before installing O.S.B., (or fasten as plans provided specify).


10. On cape modules with a 24' wide room and the remainder of the house is 27' wide, you must use the following setting sequence for raising the roof. Raise the roof sections on the back module, (the section with the full 27' wide living space) the same as a regular cape and then raise the paneled extension sections up in a 90 degree position from the roof section and brace temporarily in this position. Then raise the 24' section of the roof and complete flipping paneled extension sections as you would on a normal cape roof.

Siding Skirt Trim (See Figure 14)

1. Siding is to be applied in the following manner, depending on whether it is vertical or horizontal.
2. Remove shipping clip installed to hold bottom row of siding. Nail starter strip (supplied) onto plywood strips as shows on detail. Slide siding along bottom edge of factory installed siding and starter strip. Install starter strip and sub-corners on ends of house and complete siding by conventional method. Corners snap over the sub-corners.

Gable Siding (See Figure 15)

1. Siding on the gable end is installed from the bottom up.
2. Line up the starter strip with the front and rear.
3. Install siding up to soffit trim.

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Painting

Painting of raw surfaces is the last sequence for completing exterior finish. If a garage is included in the unit package, exterior painting is generally done after garage erection and completion.

The following points will need painting or touchup:

1. Front door jambs and brick mold trim adjustment. Nail holes should be puttied before painting.
2. Doors need to be caulked at siding gap next to trim mold.
3. General touchup on spots bruised during delivery and erection.
4. Soffit under floor of overhang, i.e. floor overhang of split entry model.

Air Infiltration System (See Figure 16)

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Interior Trim

Interior trim should follow this sequence after low expansion foam seal has been completed at all center doorway cracks between modules (jamb, header, and threshold) and modules are structurally tied together at floor and ceiling.

1. Draw center wall sections of each module together with "C" clamps or gluing clamps. Tie doorway studs together using 3/4" perforated banding to achieve correct wall thickness.
2. Fold carpet back from threshold of common wall doorways and build up threshold to level of module floor decks. This may require slight jacking of center beam of one of module and shim over piers to level out decks. Therefore, be sure that decks are level before bolting of units is completed. To close the small crack use strips of felt paper, adhesive, shim shingles or plywood strips, as appropriate to get proper level. Install galvanized flashing over shims to eliminate possible wear of carpet and/or vinyl.
3. If carpeting is on both sides of doorway, it should be stretched with a "knee kicker" and tacked to the floor with small nails 6" from doorway threshold. Overlap two pieces of carpet and using sharp carpet knife or razor knife with a straight edge, cut through both segments of carpet at once to give a neat butt joint in the center of threshold. Cut proper length of carpet seaming tape and, using a seaming iron, tape carpet together from the underside. Do not remove nails until the tape has been allowed to cool and set. Leave this operation until final clean up.
4. If vinyl-to-carpet opening is trimmed, metal carpet-to-vinyl bars are to be installed. In closet or bedroom doorways, carpet is seamed as above. Metal thresholds should be installed at the top of the basement stairs and on vinyl-to-vinyl seams between modules.

5. Door units are shimmed against studs for level and square door jamb installation. CAUTION: Be sure that casing trim at door header lines up with plant installed door trim. This is a special problem when installing doorways in carpeted areas since pad and carpet will force doorway higher than door over vinyl areas. In these cases, force jambs tightly against carpet to minimize header differences. Never change the reveal at headers to compensate for these differences.

6. Finish drywall cracks by raking 1/8" groove out of all cracks, applying drywall joint compound, and in some instances, drywall tape. Top all cracks and feather edges at least 4" either side of crack. After drying, sand and paint to match wall texture. CAUTION: Special paint is sprayed and rolled on walls during plant finishing. This creates a unique pattern wall paint finish. Touch up carefully. Corner cracks can, in some instances, be corrected with the application of caulking and repainted.


NOTE: Sufficient paint from the dye lot used in plant finishing is shipped with the house. If this paint is allowed to freeze, matching paint will be difficult. Age and accumulated airborne dirt on paint will make matching of paint difficult in later repairs and entire walls may have to be repainted for correct appearance. Therefore, be sure to retain all paint left from finishing operations. Also, paint used is especially prepared for modular housing and may be purchased from I.B.S. Inc. or ordered from your nearest Sherwin Williams dealer. (Check with I.B.S. on Paint Specifications.)

7. Some models require wood trim boxing at openings or ceiling and walls. This trim is painted. After installations, caulk nail heads with latex caulk; then touch up. Arches are to be finished with drywall and corner bead (Standard).

8. Basement and split level models require site installation of stairs. Be sure to install basement stair light for proper lighting of stairwell. Install the handrail as required by code.

9. All doors and windows should be checked to be sure they open and close correctly. If doors will not latch, striker plates may need to be adjusted. If bi-fold doors bind on carpet, adjusting and leveling doors and jambs should be equal at any point. Bi-fold door track pin adjustment and hinge screw adjustment must be made for proper appearance and function.

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Electrical Connection

General Connection

1. Connection between manufactured sections to be made by direct wiring to panel box or, with "Molex" connectors, or with junction boxes in attic or basement space. Attic area is accessed through ceiling access panel or pull down stairs. Wiring to be spliced is identified for proper connection.

Crawl Space

1. Crawl space house has panel box with breakers installed and prewired.
2. Bonding cable is supplied, but service entrance cable is not supplied.

Two Story Electrical Connection:

1. Two story electrical connections are made by direct wiring to panel box, or within junction boxes/Molex connectors.

Basement

1. Basement house has a panel box with breakers and wiring cable dropped under floor for sufficient length to install panel in basement where shown on basement plans. Breakers are not supplied for any basement circuits.

Plumbing Connections

General Connections

1. All waste, vents and water pipes are stubbed out within the floor system. These must be connected together and run to the waste and water service by the customer. All basement houses have a 2" dry vent for future basement plumbing. Vents are extended through roof except where conditions exist to prohibit their extensions, such as where vent occurs under a hinged overhang or is placed too high on the roof where road restrictions prohibit installations. Where these restrictions occur, the vent extension with roof flange is provided for onsite installations. These vent extensions must be glued, roof cap installed and adjacent shingles completed.

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2. All concealed joints and connections have been air tested for leaks; however, all mechanical compression and trap nuts must be checked before water is turned on, as vibration in transportation and erection may loosen them, creating leaks. MAKE SURE TO BLEED HOT WATER HEATER AFTER FILLING IT WITH WATER OR THE TOP ELECTRIC ELEMENT WILL BURN OUT AS SOON AS ELECTRIC CURRENT IS APPLIED. HOT WATER ELEMENTS ARE NOT GUARENTEED!!!!!!

3. All field work and connections must be finished in compliance with the local codes and regulations by the builder. This work is subject to testing and inspection by local authorities.

4. Plumbing connections are made within chases and access area as noted on plans. These connections of waste, vent and water pipes must be field tested by a pressurized air test and inspected by local authorities. After inspection and approval, drywall to be completed by the builder.

5. All accessible plumbing stubbed to below first floor is to be visually inspected during onsite testing of completed systems

Plumbing

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Supply

1. Prior to ordering, determine type and size of water supply lines required by local code and inform I.B.S. Inc. of all special connections.
2. I.B.S. Inc. completes all pressurized system connections as specified in approval systems drawings only.
3. Standard fixture installations are ½" diameter copper hot and cold water lines installed to 4" below floor line for field connections (¾" diameter main feed for more than 1 fixture).
4. Check floor plan, plumbing schematic and foundation prints for supply drop location and plumbing runs.
5. I.B.S. Inc. pressure tests all concealed water supply systems installed prior to shipment. Due to possible transportation damage, these lines must be retested by a pressurized air test after unit is erected. I.B.S. Inc. will not be responsible for and damage occurring from transportation or erection.

5. It is recommended that the water supply system be chlorinated after all connections are made in the field to sterilize the system.

DWV

1. Prior to ordering, determine type and size of sewer lines required by local codes and inform I.B.S Inc. of all special conditions. I.B.S. Inc. does not complete DWV system connections. Drain and waste lines are stubbed through the floor for on-site connection. Vent and drainage connections between first and second floor of two story homes are run to a common location (whenever possible) for field connection.

2. Standard installations are PVC-DWV schedule 40 plastic lines of various sizes (see plumbing drawing) stubbed to 4" below first floor line for field connection.

3. Check floor plan, plumbing schematic and foundation print for DWV drop locations

4. I.B.S Inc. tests all concealed DWV systems installed prior to shipment. Due to possible transportation damage, these lines must be retested by a pressurized air test after unit is erected. I.B.S. Inc. will not be responsible for and damage occurring from transportation or erection.

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Plumbing-Basement Variations and Exceptions from Crawl Space System

Below floor connections for water supply, shut-off valves and the connection of stacks to building drain is the builder's responsibility. Variations to include basement laundry facilities, floor drains or sumps, water softeners and basement baths are builder option. Design, installation, labor and materials are entirely builder's responsibility. For these installations, I.B.S Inc. cannot alter its standard plumbing installation to provide re-vent drops for basement laundry facilities or similar designs due to the individualized nature of these designs. This is especially true for water softener requirements which are not supplied as options

Note:

1. Water heaters are shipped loose for on-site basement installation. Electrical connections and plumbing connections for these must be made in the field.

2. Important: On basement models, no main level laundry outlet box is provided, nor are there any water supply line drops provided anywhere, because of the many possible laundry locations in the basement

3. Joints are formed where fixtures come in contact with walls or floors shall be sealed on-site.

Electrical

1. I.B.S Inc. will provide the distribution panel in the factory per house plan. For all basement models, the distribution panel will be temporarily hung from the floor joists or on the endwall of unit for field installation on the basement wall. No conduit stubs or outside holes are provided due to the many possible service entrance drops and sizes.

2. The builder is responsible for supplying and installing the meter base, service mast or riser, service entrances cable for meter to panel (or conductors in conduit) etc. Builder must also install a bare copper ground wire, (#4 for 200 AMP panels) in the panel and bring this wire into the crawl space or in the basement and then outside to grounding rod supplied by the builder, or to the copper water supply line. Installation should be checked with local authorities to comply with National Electrical Code and local codes. I.B.S. Inc. provides #4 wire for crawl space inside panels.

3. Mount exterior lights supplied by I.B.S Inc. at front and rear entries. Wiring and boxes for exterior lights have been factory installed.

4. Re-check all electrical devices, appliances and circuits.

5. Circuit protection breakers are marked in the panel box. For specific outlet circuit connection, consult with I.B.S Inc. since each model has a special schematic.

6. CAUTION: No basement wiring is provided except for one stairwell light or junction box for on-site stairwell light and one junction box for smoke detector. All labor and materials are to be supplied by builder for basement outlets.

7. Optional garage wiring details for attached garages are shown in details or drawings. I.B.S. Inc. will furnish a minimum of one standard light fixture and one box and cover and one exterior light.

8. The range hood is installed in the factory. If not wiring is stubbed through wall and capped off.

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9. Dryer Options: Certain models may have one integral 220 volt and one 110 volt outlet provided in the laundry location. Washer and dryer outlets are not provided in the basement models and must be installed in the field. No dryer pigtails, dryer exhaust, or flex gas pipes are provided.

Erection Options

While not including all on-site (field) items which must be completed by the builder, the following is a partial list of common on-site functions:

1. Place sill seal.
2. Place sill plate.
3. Place knee walls and knee wall window frames.
4. Set House.
5. Adjust and bolt together.
6. Secure At Sill Plate.
7. Set hinged overhang.
8. Set shingles and ridge vent.
9. Install gable inserts.
10. Split entry models-close in; seal front entry
11. Protect exposed gypsum.
12. Split entry models- install stairs and landing.
13. Seal all exterior joints and cracks.
14. Install siding.
15. Install soffit material.
16. Install fascia and rake trim.
17. Install gutter and downspouts.
18. Install shutters, where applicable.
19. Set exterior porches and trim.
20. Frame/side/roof attached garages.

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21. Hang garage door.
22. Caulk and repair all components.
23. Paint unfinished trim.
24. Secure mate walls at openings.
25. Insulate all openings between manufactured units.
26. Seal all openings between manufactured units.
27. Insulate overhangs, knee walls, entry and band joints.
28. Drywall all mate wall arches.
29. Trim mate wall openings and set doors.
30. Reset all doors hardware.
31. Install loose light fixtures.
32. Touch up all drywall and paint.
33. Secure carpet and/or vinyl at mate walls.
34. Secure stairs in basement or entries (1st to 2nd floor).
35. Install carpet on stairs.
36. Lay vinyl at entry landings.
37. Set base/casings/ shoes molding, where applicable.
38. Set rails and stair moldings, where applicable.
39. Set nails, putty and paint areas, where applicable.

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Site Installation Inspection Report

Integrity Building Systems, Inc.
2435 House's Run Road, Milton PA 17847
Phone: (570) 522-3600 Fax: (570) 522-0089

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IBS INC. ^{ARK}
MICHAEL A. FALLER

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BUILDER: _____ House Serial No. _____
OFFICE LOCATION: _____ STATE: _____ PHONE NO. () _____
SITE LOCATION: _____ MODEL TYPE: _____

FIELD INSTALLATION CREW: _____ PHONE NO.: _____

*For Pennsylvania only: All labels/insignia's/data sheets will be placed in the Kitchen sink base cabinet; or if cabinets are omitted, in Bedroom #1 closet.

A. FOUNDATION AND JOB SITE: To be inspected by the builder or his authorized representative to insure jobsite readiness for house installation. Thirty-six (36) hours positive contact notice is required to set up crew, if site is not ready. If conditions are such that set up crew chief determines that work cannot safely begin, then crew chief shall contact builder to iron out a workable solution to the problem. If the crew cannot set that day then a \$500.00 flat fee shall be assessed the builder. These delays do not include any weather related or ACTS of GOD delays. Those delays must be coped with jointly in arriving at a non-penalty solution.

1. _____ Foundation dimensions and squareness confirmed to plans.
2. _____ Sill plate and foundation anchors/straps installed per plans prepared by design professional.
3. _____ Location of columns/piers confirmed to plans.

B. HOUSE FIELD INSTALLATION: This section must be checked as the work progresses by the installation Crew Chief to insure proper work and quality of workmanship. The builder or his representative should check during the workday on the quality of workmanship by circling OK or NG (No Good) on task performed. This will prevent misunderstandings at the end of the workday. All NG tasks must be reworked by the crew to the satisfaction of the builder. The installation crew is responsible for insuring that the building is weathertight at the end of each day (for multi-day sets), and at completion of the set. Tarps or other means of temporary weatherproofing is acceptable on multi-day sets, however those temporary means are not considered as meeting the terms of a completed set.

Crew Chief Initial	Tasks	Builder Circle	
1. _____	Remove close in material and flush all staples and nails from center walls, remove all lag bolts from frame.	OK	NG
2. _____	Align house on foundation wall, raise roof.	OK	NG
3. _____	Align modules to meet evenly at floor, ceiling, roof. Remove any racking that has occurred during shipment or craning onto the foundation.	OK	NG
4. _____	Level all floors and bolt center beam, 1 st , 2 nd , or 3 rd floors per plans provided.	OK	NG
5. _____	Install Builder provided jack posts or lolly columns	OK	NG
6. _____	Align roof ridge, and overhangs, and properly secure w/metal straps and/or nails.	OK	NG
7. _____	Install collar ties when roof design requires, at proper ceiling height per plan.	OK	NG
8. _____	Ease hinged eaves (overhang) into place (if required) And secure at roof seam & soffit lip to exterior wall.	OK	NG
9. _____	Install gable end panels and sheathing. Space panels as per plans. Shim gaps between panels before connecting panels. Panels must be plumb to accept siding.	OK	NG
10. _____	Install shipped loose water resistant barrier on completed gable ends.	OK	NG
11. _____	Install overhang shingles—align with factory installed shingles—shingle roof.	OK	NG
12. _____	Secure the perimeter band joists to sill plate, install required strapping per plans.	OK	NG
13. _____	Check factory installed exterior doors. Adjust as required for proper operation.	OK	NG
14. _____	For multi-story buildings install sheathing panels across joint of floor/ceiling each story. Overlap and complete installation of the water resistant barrier each story.	OK	NG
15. _____	Clean-up all scrap materials and rubbish, and place in container or at one location.	OK	NG
16. _____	Visual inspect sealing of Thermal Envelope per section N 1102.4.	OK	NG
17. _____	Rough-in test for Total Air Leakage per section N 1103.2.	OK	NG

IBS will not assume responsibility for any water damages resulting from an incomplete or improper set.

General Remarks: _____

When floor insulation is not installed by IBS, the Builder is responsible for the installation of either floor or foundation wall insulation in conformance to the applicable code requirements. Window Guards may need to be installed, when required by grade conditions.

The undersigned as the Builder or his authorized representative accepts the workmanship of the installation crew authorizes payment for the work performed in the amount of \$ _____.

Signed _____ Title _____ Date _____

Site Sprinkler Installation Inspection Report

Integrity Building Systems, Inc.

2435 Housels Run Road

Milton, PA 17847

Phone (570)522-3600 fax (570)522-0089

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Builder _____ Home Serial No. _____

Site Location _____

Sprinkler Installer _____ Phone No. _____

Installer Initials	Task Description	Builder Circle
_____	Check sprinkler heads for damage or missing escutcheons.	Ok Ng
_____	Cut caps off sprinkler pipe to make unit to unit or unit to site built connections.	Ok Ng
_____	Insure all connections to sprinkler piping are made utilizing approved materials and methods.	Ok Ng
_____	Sprinkler head spray patterns are not obstructed by light fixtures, ceiling fans, or special construction features.	Ok Ng
_____	Sprinkler heads are of correct temperature rating, and are installed beyond the required separation distances from heat sources, per NFPA 13D.	Ok Ng
_____	Pipe size installed equals the pipe size shown on the sprinkler plans, and calculations.	Ok Ng
_____	Piping routed as shown on plans.	Ok Ng
_____	All pipe for sprinkler system is of the type listed on the sprinkler plans, and is approved for use in Residential Sprinkler Systems.	Ok Ng
_____	Hangers are installed in accordance with NFPA 13D.	Ok Ng
_____	Sprinkler heads are not painted, damaged or contain foreign materials (drywall compound, foam air infiltration seal, etc.).	Ok Ng
_____	Sprinkler manufacturer applied finishes only - Do not paint any portion of the sprinkler head, escutcheon, or cover plate.	Ok Ng
_____	Connect field installed components to Modular units.	Ok Ng
_____	All piping hydrostatically tested at 200 psi for a minimum of 2 hours. Note: it is recommended that joints are left to cure for a minimum of 24 hours prior to testing.	Ok Ng
_____	Complete all test certificates.	Ok Ng
_____	Place "Warning Tag" on main shut-off valve.	Ok Ng
_____	If there is a residential pump and tank system, the site electrician is required to wire the pump, and the site plumber is required to provide and install piping to the automatic refill valve located on the tank.	Ok Ng

Integrity Building System will not be responsible for water damages resulting from an improper or incomplete sprinkler installation.

General remarks: _____

The undersigned as the Builder or his authorized representative accepts the workmanship of the sprinkler contractor in completing the installation of the sprinkler system in accordance with the approved plans.

Signed: _____ Title: _____ Date: _____

Rev.	Len. By	Description	Date
A			
B			
C			

NOTE: VALLEY STUD SPACING NOT
TO EXCEED 48" O.C. SPACING

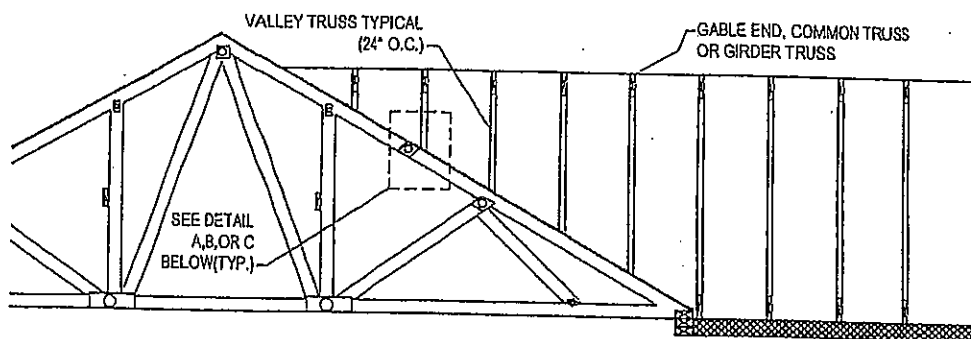
GABLE END, COMMON TRUSS
OR GIRDER TRUSS

VALLEY TRUSS TYPICAL
(24" O.C.)

BASE TRUSSES
TYPICAL (24" O.C.)

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TOE- NAIL VALLEY TO
BASE TRUSS W/
(2) 16d TOE NAIL

VALLEY TRUSS
RESTS ON 2X6

ATTACH 2X6 CONTINUOUS
NO.2 SPF
TO THE FACE OF THE ROOF
W/ TWO
16d (.131" x 3.5") NAILS INTO
EACH TRUSS BELOW

DETAIL A
(GREATER THAN 3/12 PITCH)

ATTACH 2X4 CONTINUOUS NO.2 SPF
BLOCK TO THE FACE OF THE ROOF W/
TWO 16d (.131" x 3.5") NAILS INTO EACH
TRUSS BELOW. EACH TRUSS BELOW
MUST HAVE A BLOCK ATTACHED TO IT.

TOE- NAIL VALLEY TO
BASE TRUSS W/
(2) 16d TOE NAILS

DETAIL B
(3/12 PITCH OR LESS)

ATTACH BEVELED 2X4 CONTINUOUS
NO.2 SPF TO THE FACE OF THE ROOF WITH
TWO 16d (.131" x 3.5") NAILS INTO EACH
TRUSS BELOW

DETAIL C
(GREATER THAN 3/12 PITCH
LESS THAN 12/12 PITCH)

ATTACH VALLEY TO
BEVELED 2X4 W/
(2) 16d TOE NAILS

TOE- NAIL VALLEY TO
BASE TRUSS W/ (2) 16d TOE NAIL

INSTALL BASE TRUSSES
APPLY SHEATHING TO TOP CHORD OF SUPPORTING TRUSSES.
VALLEY TRUSSES MAY PROVIDE BRACING IF SHEATHING IS NOT APPLIED.
BASE TRUSSES MUST BE DESIGNED FOR PURLIN SPACING EQUIVALENT
VALLEY TRUSS SPACING NOT TO EXCEED 24" O.C.)
INSTALL VALLEY TRUSSES (24" O.C. MAXIMUM) AND SECURE TO BASE
TRUSSES AS PER DETAIL A OR B ABOVE.
BRACE VALLEY WEBS IN ACCORDANCE WITH THE INDIVIDUAL DESIGN DRAWINGS.

TRUSSED VALLEY SET

DETAIL

25

120 Mph Exp. C Addendum to Fastening Schedule for Ranch & Two Story Units

Roof sheathing to trusses:

Trusses 24" o/c (Note 1)	16ga. 7/16 x 1 1/2" staples-	2" o/c end zones
		5" o/c interior zones
	15 ga. x 7/16 x 1 1/2" staples-	2" o/c end zones
		5" o/c interior zones
	.120 x 2" nails -	4" o/c in end zones
		6" o/c edges. 8" o/c intermediate at interior zones

Wall sheathing to studs:

Studs 24" o/c (Note)	16 ga. 7/16 x 1 1/2" staples-	3" o/c at end zones
		4" o/c at interior zones
	15 ga. X 7/16 x 1 1/2" staples-	4" o/c at end zones
		5" o/c at interior zones
	.120 x 2" nails	6" o/c everywhere

Exterior Walls:

Wall studs to top and bottom plates:

15 ga. X 7/16 x 2 1/2" staples	7 per connection
.131 x 3" nails	4 per connection

Wall bottom plate to floor rim and double top plates together:

15 ga. X 7/16 x 2 1/2" staples	5" o/c
.131 x 3" nails	8" o/c

Multiple studs together:

15 ga. X 7/16 x 2 1/2" staples	6" o/c
.131 x 3" nails	9" o/c

Trusses to Top Plate: (Trusses 24" o/c)

Lateral Load: .131 x 3" toe nails 4 per connection.

Alt. see detail in plans

Uplift: Simpson H2.5A, H6, or H8 Hurricane Anchors or Equal (525 lbs. Allowable)

Studs to Floor:

Uplift: 22 ga. X 1 1/2" Straps 24" o/c
Straps Fastening: 8-15 ga. X 1" staples per end
At Openings: See Strapping Tables

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Mating Walls:

(Note 2)

Mating Wall Upper Rail to Truss:

15 ga. X 7/16 x 2 1/2" staples	6 per connection
.131 x 3" nails	4 per connection

Mating Wall Upper Rails Together:

Rails at Flip: .131 x 3" nails	8" o/c
Peak Rails (Field): 10x4" screws	8" o/c driven from alternate sides

Mating Wall Lower Rail to Truss:

15 ga. X 7/16 x 2 1/2" staples	4 per connection
.131 x 3" nails	3 per connection

Mating and Side Wall Strapping:

Uplift: 22 ga. X 1 1/2" straps 24" o/c
Strap Fastening: 8 - 15 ga. X 1" staples per end
At Openings: See Strapping Tables

Notes:

- Definitions: End Zones- 3 ft. within a corner at walls, within 3 ft. of an edge or the peak on roofs.
Interior Zones-areas between end zones.
- See detail on strapping tables for lower rail to truss bottom chord connection.

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49

Integrity Building Systems, Inc.

Ship Loose Check-Off Sheet

Serial Number:	Date Loaded:
Type of Home: <input type="checkbox"/> Ranch <input type="checkbox"/> Cape <input type="checkbox"/> 2-Story	Builder:
Size:	State:
Loaded By:	

Item Description	Color	Type	Quantity Shipped	Unit Shipped In
EXTERIOR				
Vinyl Siding: <input type="checkbox"/> 4/4 <input type="checkbox"/> 5/5		<input type="checkbox"/> Mainstreet- <input type="checkbox"/> Ship Lap <input type="checkbox"/> Hamilton Park(Heritage Std)		
10' Vinyl Outside Corners				
10" Vinyl Inside Corners				
12' Siding Starter				
12'6" J-Channel-1/2"				
12'6" J-Channel-1/2"		For Ship loose MW		
V-Wood		Windows & Doors		
12' Fascia- 6"				
12'6" Deluxe F-Channel				
12'6" STD F-Channel				
12'6" Cornice Molding				
12" Vinyl Soffit X Width		Flipped Eaves		
12" Vinyl Soffit X Width		Gables		
1 3/4" Bay Outside Corners				
10'				
12" Vinyl Soffit 12' Long		For Prowel Roof Cape		
		(12 PCS)		
12" Vinyl Soffit 4 1/4 Width		Cape Dormers		
5 1/2"x96"x7/16" OSB- Bottom Row				
7 1/2"x96"x7/16" OSB- Between 1 st & 2 nd Floor of 2- Story				
Gable End Sheathing		Fastened To Endwall	CHECK	
Gable End Walls(Assembled)		Lagged to Endwall	CHECK	
Air Infiltration Wrap NY (STD)				
Air Infiltration Wrap Tape NY (STD) 330'				
6" Sill Insulation- Marriage Wall Perimeter				
Ice Guard (65' per Box)				
Starter Shingles 1BNDL= 68'	Onyx Black	For Flips, Porches, Dormers & When Ship Loose Shingles		
Shingles		<input type="checkbox"/> 30 Yr. Architectural <input type="checkbox"/> 25 Yr. Supreme		
Cap Shingles-20ft Per Box or		<input type="checkbox"/> 30 Yr. Architectural		

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Cap Shingles-1 Shingle per ft		<input type="checkbox"/> 25 Yr. Supreme		
Item Description	Color	Type	Quantity Shipped	Box Shipped In
10' Drip Edge				
Shingle Over Vent 4'		All 9/12 & 12/12 Pitch		
10' Metal Ridge Vent (0-44'=3, 46'-60'=4)		Heritage Std(except 9/12 or 12/12)		
Metal Ridge Cent Straps & Connectors				
Metal Ridge Cent End Plugs				
5/8 Exterior Drywall For Garage		Option		
36" Felt Paper (144' per roll)				
36" Valley Material (36' per roll)				
10" Step Flashing				
Oatley Boot-3"(Vent Radon)				
Range Cap-6"(2-Story)				
Range Hood Pipe-(6"x5'0")				
Bath Fan 4" Exhaust Vent				
Skylights		<input type="checkbox"/> 2'x2' <input type="checkbox"/> 2'x4'		
Drywall For Skylight		5/8x4'x14'		
Windows:				
2842 For Cape Dormers				
2852 For Cape Gable End				
Bow Windows & Screen				
Bay Windows & Screen				
Bay Window Roof				
		Screens For Brickmold Windows Are Different ↓		
Window Screens: 24210		<input type="checkbox"/> M/W <input type="checkbox"/> 7/D <input type="checkbox"/> Anderson		
30210				
2842				
2852				
3052				
Shutters-39" 24210 Window		<input type="checkbox"/> Paneled <input type="checkbox"/> Louvered		
Shutters-Cape Dormer- 55"(28X42)				
Shutters-Bow Window-59"				
Shutters-67"(28x52)				
Shutters-71"(28-56)				
Windows Grid		Anderson Windows (OPTION)		
Window Crown Mantels				
Window Crown Mantels				
Door Mantels Pediment w/ Urn				

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Sunburst-Over Windows				
Item Description	Color	Type	Quantity Shipped	Box Shipped In
Sunburst- Over Doors				
Draft Stop Tape For Around Shiploose Windows(75'Per Roll)				
Patio Door Screen				
Caulking For Shiploose Windows				
Exterior Front Door				
Exterior Door Lockset				
Brick Molding				
Flashing For Door				
Cape Dormers				
Cape Gable Walls OSB		7/16"x3"x96" OSB		
2x6 Gable Walls For Cape		4 Ends & 2 Centers		
2x6 Gable Walls For 9/12 Roof		4 Ends & 2 Centers		
Chimney Walls (Assembled)				
Flip & Gable Print (CHECK)				
Roof Top Flip Panels				
Center Column Support 2x6		For Vaulted Ceilings		
Hinged Overhand Sections				
Eaves				
Cathedral Knee Walls				
Raised Porch Knee Walls(Mono Truss Only)				
"Optional" Shiploose Gable Wall If Unable To Install				
Saddle Material For T-Ranch				
Saddle Roof Sheathing				
<input type="checkbox"/> OSB <input type="checkbox"/> Plywood				
2x4x14' Saddle Package				
Sill Gable Ladders				
1/2"x12" Bolts, Nuts, Washers		6' Increments		
Floor Insulation OR-11 OR-19		77 Sq Ft-If Batts 48 Sq If Rolls		
Check Height Of Shiploose Bump-outs		<input type="checkbox"/> 8' <input type="checkbox"/> 9'		
Flashing Cape Dormers Front 5x5x				
Roof Panels For Window Seats				
Window Seat Gable Wall				
1/2x8"x96 OSB For 2x10 Vaulted Cape Flips If OSB 15" Back				
Gable Walls For Double Top Cord Trusses				
5/8x4'x10' Drywall Black				

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Exterior For Endwall Garage Option				
Item Description	Color	Type	Quantity Shipped	Box Shipped In
		Width Length		
LVL For Cape Vaulted Endwall		1 1/2x x		
Deco Dormer Roof Panels				
Deco Dormer Gable Walls				
110 & 120 MPH OSB Window & Door Covers 1(Mi from Shoreline)				
110 & 120MPH NY STD				
Firewalls For Duplex				
		<u>Interior</u>		
Floor Strip 5"x96"x23/32 <input type="checkbox"/> Plywood <input type="checkbox"/> OSB				
Hardwood Archway (Marriage Wall)				
Hardwood Reducer (Marriage Wall)				
Basement Door Sweep				
Base Molding For Archways		Wood Integra(ONLY)		
Gold Carpet Bar				
Propra Vent		Cat Or Vault Ceilings		
Bi-Folds-2'0"				
Bi-Folds-2'6"				
Bi-Folds-4'0"				
Bi-Folds-5'0"				
Hardwood 20 Sq Ft Per Box				
Latch @ Top Of French Door				
Drywall Sheets-Ceiling Cutback Areas		5/8" Drywall 4'x14'		
Drywall Sheets- Archways & Stairs		1/2" Drywall 4'x14'		
Corner Bead-8' Long				
Corner Bead-10' Long				
Paint				
Foyer Floor Covering For Raised Ranch: Foyer: <input type="checkbox"/> Vinyl <input type="checkbox"/> Carpet&Pad <input type="checkbox"/> Other				
Stairs- Pad				
Stairs-Carpet				
Tack Strip(4' Long)				
Carpet Pad (30Sq Yd Per Roll)				
Rosette				
Stair Railing				
Newel Posts				

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Newel Plates				
Item Description	Color	Type	Quantity Shipped	Box Shipped In
Qtr Round For Stairs				
Fireplace Chimney Package				
Fireplace Flue Pipe				
Cement Board 3'x5'				
Water Heater: <input type="checkbox"/> 50Gal <input type="checkbox"/> 80Gal <input type="checkbox"/> Gas <input type="checkbox"/> Electric				
Toilet Tank Lids				
Cape Stairs Close-Off Pkg: 3-Walls For Top Of Stairs 1-Interior Door Assembly				
Collar Ties: <input type="checkbox"/> 7/12 Storage <input type="checkbox"/> 9/12 <input type="checkbox"/> 12/12		2x6 or 2x8		
2x4x14' Collar Tie Lateral Brace				
H3 or H5 Hurricane Anchors For Vaulted Cape Trusses & Beams				
Collar Ties: <input type="checkbox"/> 7/12 Storage <input type="checkbox"/> 9/12 <input type="checkbox"/> 12/12		2x6 or 2x8		
		Electrical		
Exterior Torchlight- Bright Brass				
Exterior Carriage Light - Bright Brass				
Exterior Hanging Light- Bright Brass(All Raised Ranch)	Same Light			
Hanging Foyer Light(All Open Foyer 2-Story Or Integra Raised Ranch)				
Shiploose Panel Box 200Amp				
Shiploose Panel Box Breakers				
Shiploose Sub Panel 125 Amp				
Dining Room Light: <input type="checkbox"/> Std. <input type="checkbox"/> Upg.	Same Light			
Breakfast Area Light: <input type="checkbox"/> Std. <input type="checkbox"/> Upg.				
Drum Light Globes				

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PLUMBING SYSTEM TEST:

TESTING CRITERIA:

All potable and DWV plumbing with fittings installed in the factory must be tested in the factory. Upon completion of plumbing in field, applicable testing must be performed as required by code subject to inspection by the local building official.

POTABLE WATER SYSTEM TEST:

TESTING equipment: Factory air compressor and regulator, air pressure guage with a range of 0 to 200 psi, caps and plugs of varying sizes.

TESTING PROCEDURE: Plumbing tests of the prefabricated plumbing trees are performed at the plumbers bench or of the potable system after installation in the structure. The pressure gauge is attached to the tree and any open ends closed with caps. * An air hose is attached to the pressure gauge from the factory compressor. All plumbing supply lines are pressurized to a minimum of 105 psi (125 psi-MASS), isolated from the air source, and held at pressure for a minimum of 30 minutes. A drop in pressure indicates leaks. If a pressure drop occurs, the air supply is reconnected and the joints tested individually with a soapy solution. After the leak is found and corrected, the system will be retested according to the described method.

DWV TEST:

TESTING EQUIPMENT: Factory air compressor and regulator, air pressure guage with a range of 0 to 100 psi, caps and plugs of varying sizes.

When testing with a hydrostatic test, the system is filled with water before the air pressure is applied.

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TESTING PROCEDURE: Plumbing tests of the prefabricated trees are performed at the plumbers bench or of the DWV system after installation in the structure. The pressure gauge is attached to the tree and any open ends closed with caps. An air hose is attached to the pressure gauge from the factory compressor. All DWV lines are pressurized a minimum of 5 psi, isolated from the air source, and held at pressure for a minimum of 15 minutes before gauges are checked for a pressure drop indicating leaks. If a pressure drop occurs, the air supply is reconnected and the joints tested individually with a soapy solution. After the leak is found and corrected, the system will be retested according to the described method.

ALTERNATE DWV TEST:

TEST EQUIPMENT: Cap and plugs of varying sizes.

TESTING PROCEDURE: The water test shall be applied to the drainage system either in entirety or in sections after rough piping has been installed. If applied to the entire system, all openings in the piping shall be closed, except the highest opening and the system filled with water to the point of overflow. If the system is tested in sections, each opening shall be plugged except the highest opening of the section under test.

The water shall be kept in the system or in the portion under test for a minimum of 15 minutes before inspection starts. The system shall then be tight at all points.

** All plumbing test gauges to be replaced as required when determined that gauge is not resetting once pressure is omitted.

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Air Barrier and Insulation Inspection Component Criteria

NUMBER	COMPONENT	CRITERIA
1	Air barrier and thermal barrier	Exterior thermal envelope insulation for framed walls is installed in substantial contact and continuous alignment with building envelope air barrier. Breaks or joints in the air barrier are filled or repaired. Air-permeable insulation is not used as a sealing material. Air-permeable insulation is inside of an air barrier.
2	Celling/attic	Air barrier in any dropped ceiling/soffit is substantially aligned with insulation and any gaps are sealed. Attic access (except unvented attic), knee wall door, or drop down stair is sealed.
3	Walls	Corners and headers are insulated. Junction of foundation and sill plate is sealed.
4	Windows and doors	Space between window/door jambs and framing is sealed.
5	Rim joists	Rim joists are insulated and include an air barrier.
6	Floors (including above-garage and cantilevered floors)	Insulation is installed to maintain permanent contact with underside of subfloor decking. Air barrier is installed at any exposed edge of insulation.
7	Crawl space walls	Insulation is permanently attached to walls. Exposed earth in unvented crawl spaces is covered with Class I vapor retarder with overlapping joints taped.
8	Shafts, penetrations	Duct shafts, utility penetrations, knee walls and flue shafts opening to exterior or unconditioned space are sealed.
9	Narrow cavities	Batts in narrow cavities are cut to fit, or narrow cavities are filled by sprayed/blown insulation.
10	Garage separation	Air sealing is provided between the garage and conditioned spaces.
11	Recessed lighting	Recessed light fixtures are air tight, IC rated, and sealed to drywall. Exception—fixtures in conditioned space.
12	Plumbing and wiring	Insulation is placed between outside and pipes. Batt insulation is cut to fit around wiring and plumbing, or sprayed/blown insulation extends behind piping and wiring.
13	Shower/tub on exterior wall	Showers and tubs on exterior walls have insulation and an air barrier separating them from the exterior wall.
14	Electrical/phone box on exterior walls	Air barrier extends behind boxes or air sealed-type boxes are installed.
15	Common wall	Air barrier is installed in common wall between dwelling units.
16	HVAC register boots	HVAC register boots that penetrate building envelope are sealed to subfloor or drywall.
17	Fireplace	Fireplace walls include an air barrier.

* SEE FIGURES 20 THRU 26.

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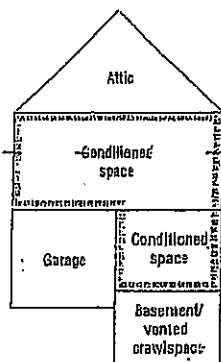
54

BUILDING THERMAL ENVELOPE

Building Thermal Envelope — The basement walls, exterior walls, floor, roof, and any other building element that encloses conditioned space. This perimeter also includes the boundary between conditioned space and any exempt or unconditioned space.

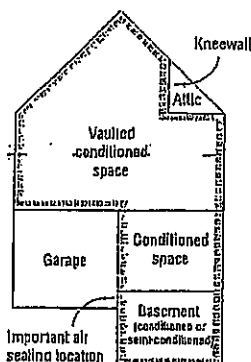
The *building thermal envelope* is the barrier that separates the conditioned space from the outside or unconditioned spaces. The building envelope consists of two parts - an air barrier and a thermal barrier that must be both continuous and contiguous (touching each other). In a typical residence, the building envelope consists of the roof, walls, windows, doors, and foundation. Examples of unconditioned spaces include attic, vented crawlspaces, garages, and basements with ceiling insulation and no HVAC supply registers.

Example 1



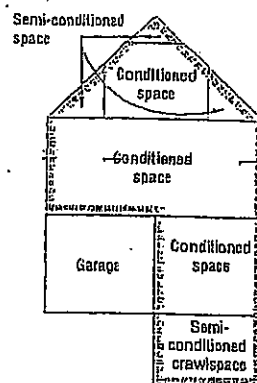
This is a conventional approach that likely locates all ductwork in unconditioned spaces.

Example 2



If supply registers deliver conditioned air to basement, it is considered conditioned. With no supply air, it is considered a semi-conditioned space.

Example 3



The top conditioned floor functions as a vaulted ceiling with interior walls although it appears to have kneewalls and a flat ceiling. An advantage of this approach is that all upstairs ductwork is located inside the building envelope.

The crawlspace walls are insulated and do not contain vents. The crawlspace ground is covered with concrete or 100% plastic to function as a "mini-basement."

N1103.2 Ducts.

N1103.2.1 Insulation. Supply ducts in attics shall be insulated to a minimum of R-8. All other ducts shall be insulated to a minimum of R-6.

Exception: Ducts or portions thereof located completely inside the *building thermal envelope*.

N1103.2.2 Sealing. Ducts, air handlers, filter boxes and building cavities used as ducts shall be sealed. Joints and seams shall comply with Section M1601.4. Duct tightness shall be verified by either of the following:

1. Post-construction test: Leakage to outdoors shall be less than or equal to 8 cfm (3.78 L/s) per 100 ft² (9.29 m²) of conditioned floor area or a total leakage less than or equal to 12 cfm (5.66 L/s) per 100 ft² (9.29 m²) of conditioned floor area when tested at a pressure differential of 0.1 inch w.g. (25 Pa) across the entire system, including the manufacturer's air handler and closure. All register boots shall be taped or otherwise sealed during the test.
2. Rough-in test: Total leakage shall be less than or equal to 6 cfm (2.83 L/s) per 100 ft² (9.29 m²) of conditioned floor area when tested at a pressure differential of 0.1 inch w.g. (25 Pa) across the roughed in system, including the manufacturer's air handler enclosure. All register boots shall be taped or otherwise sealed during the test. If the air handler is not installed at the time of the test, total leakage shall be less than or equal to 4 cfm (1.89 L/s) per 100 ft² (9.29 m²) of conditioned floor area.

Exception: Duct tightness test is not required if the air handler and all ducts are located within *conditioned space*.

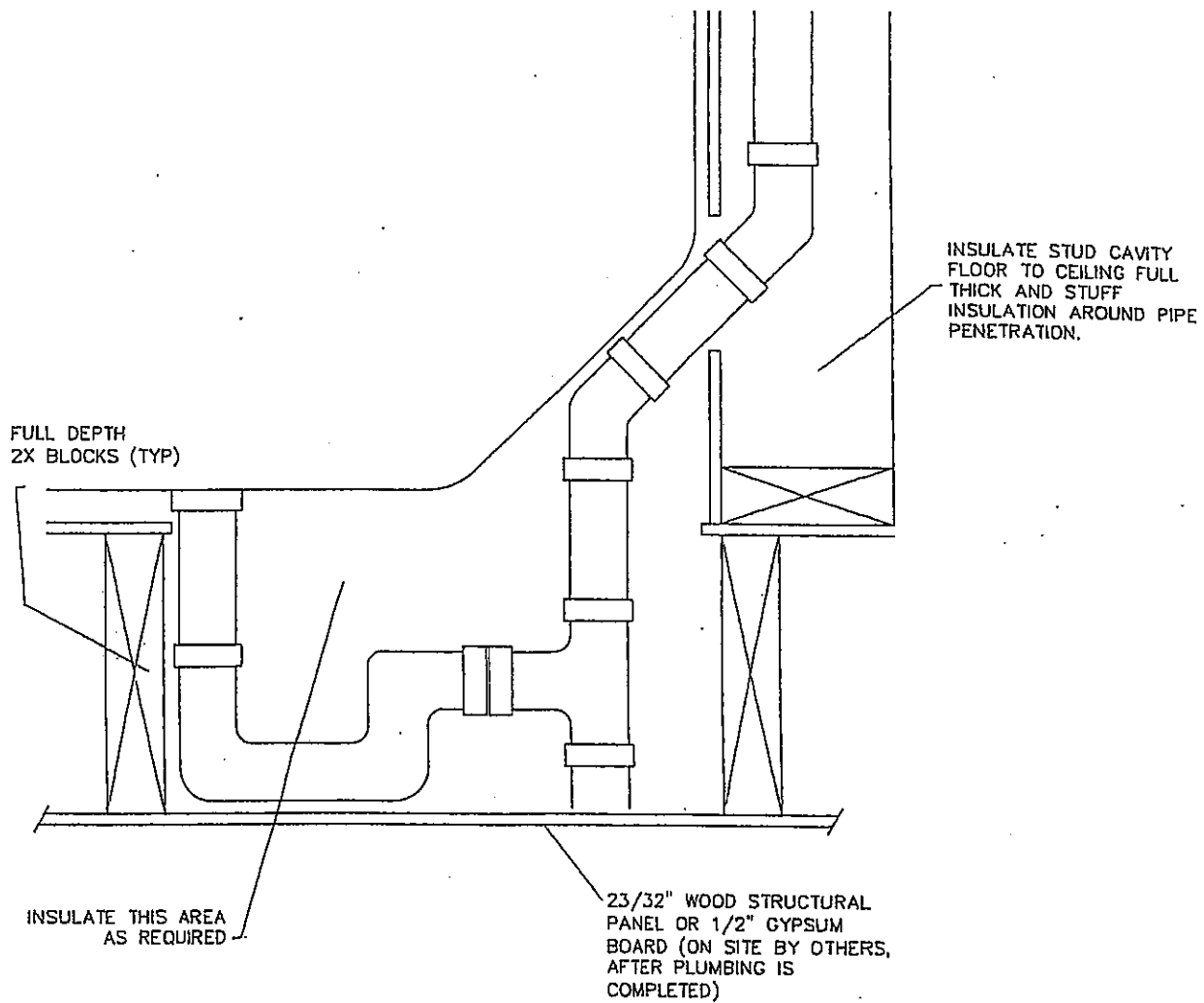
N1103.2.3 Building cavities. Building framing cavities shall not be used as supply ducts.

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Rev.	Des. By	Description	Date
A	W	Revised	3/27/11
B			
C			

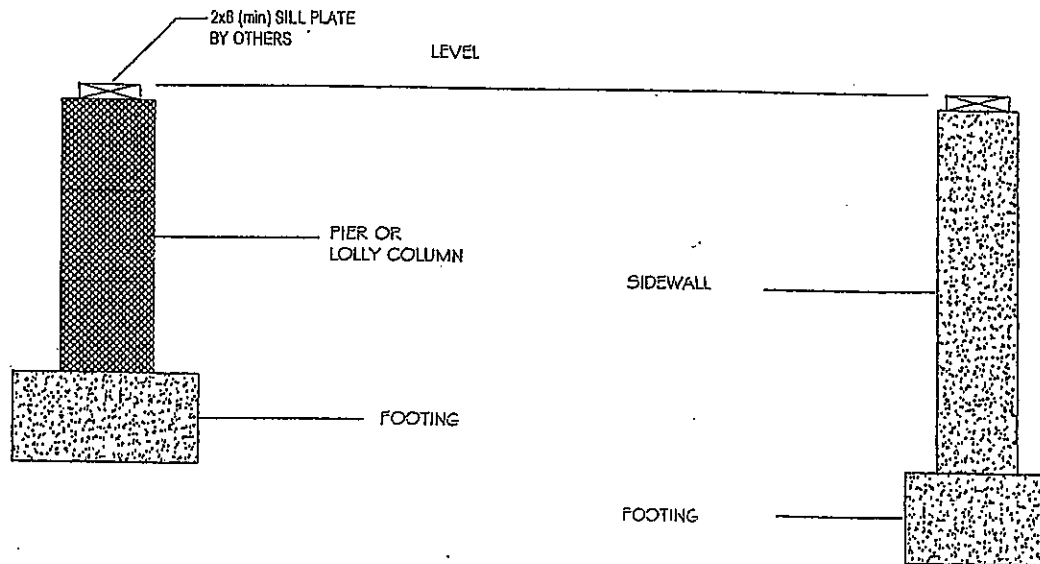


TYPICAL FIRESTOPPING DETAIL

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FIGURE 1.

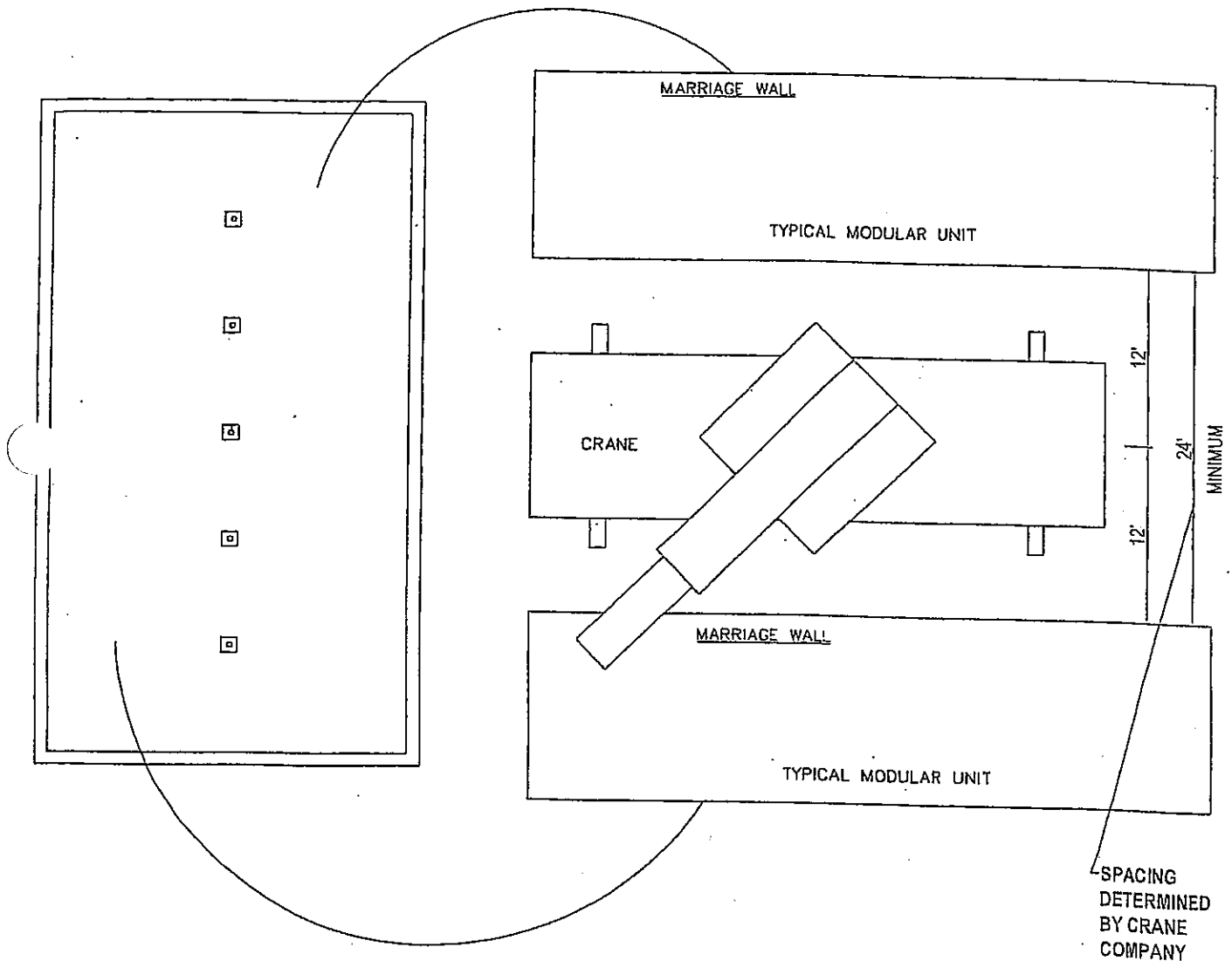

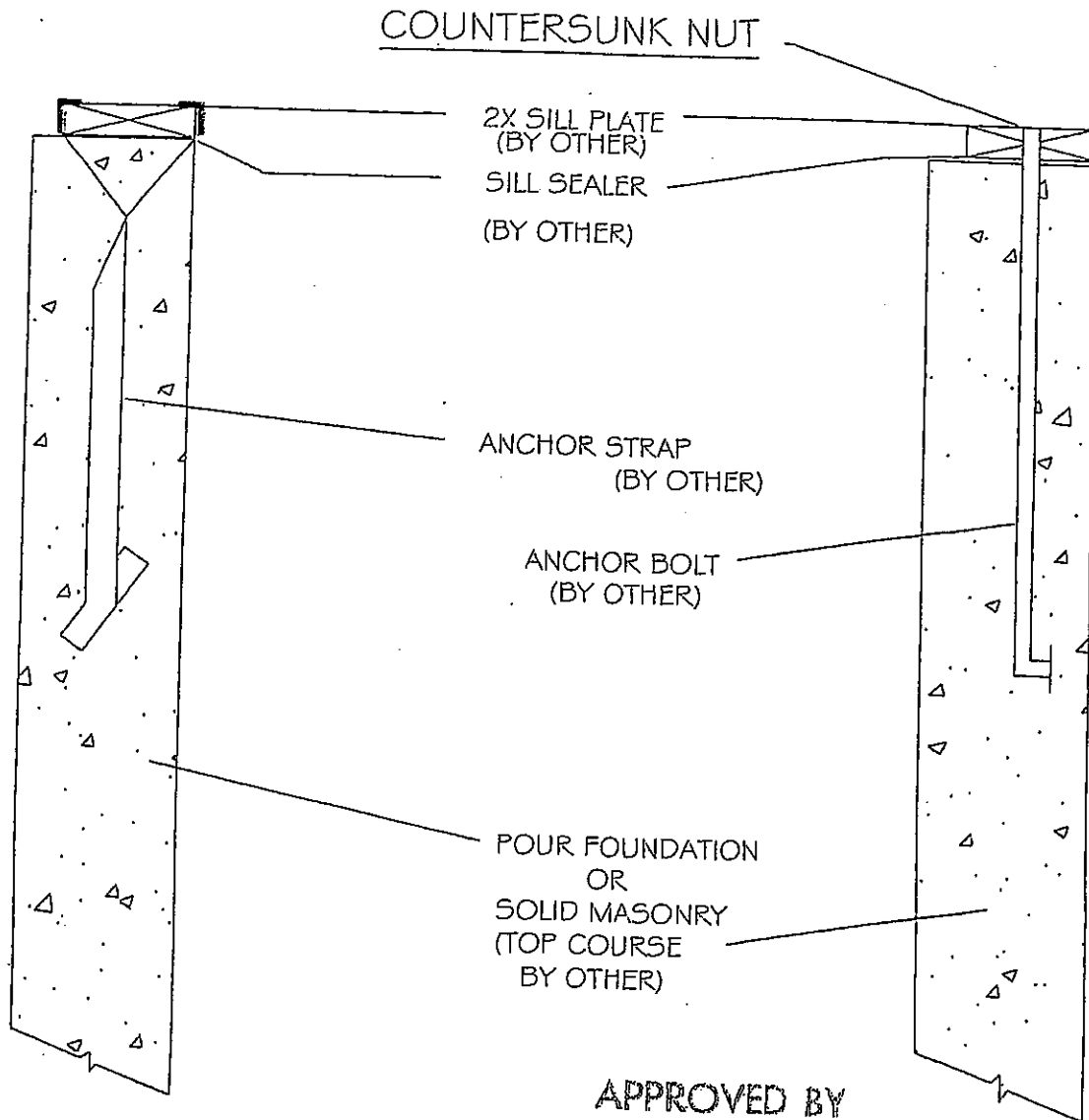


FIGURE 2.

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Rev.	Rev. By	Description	Date
A			
B			
C			



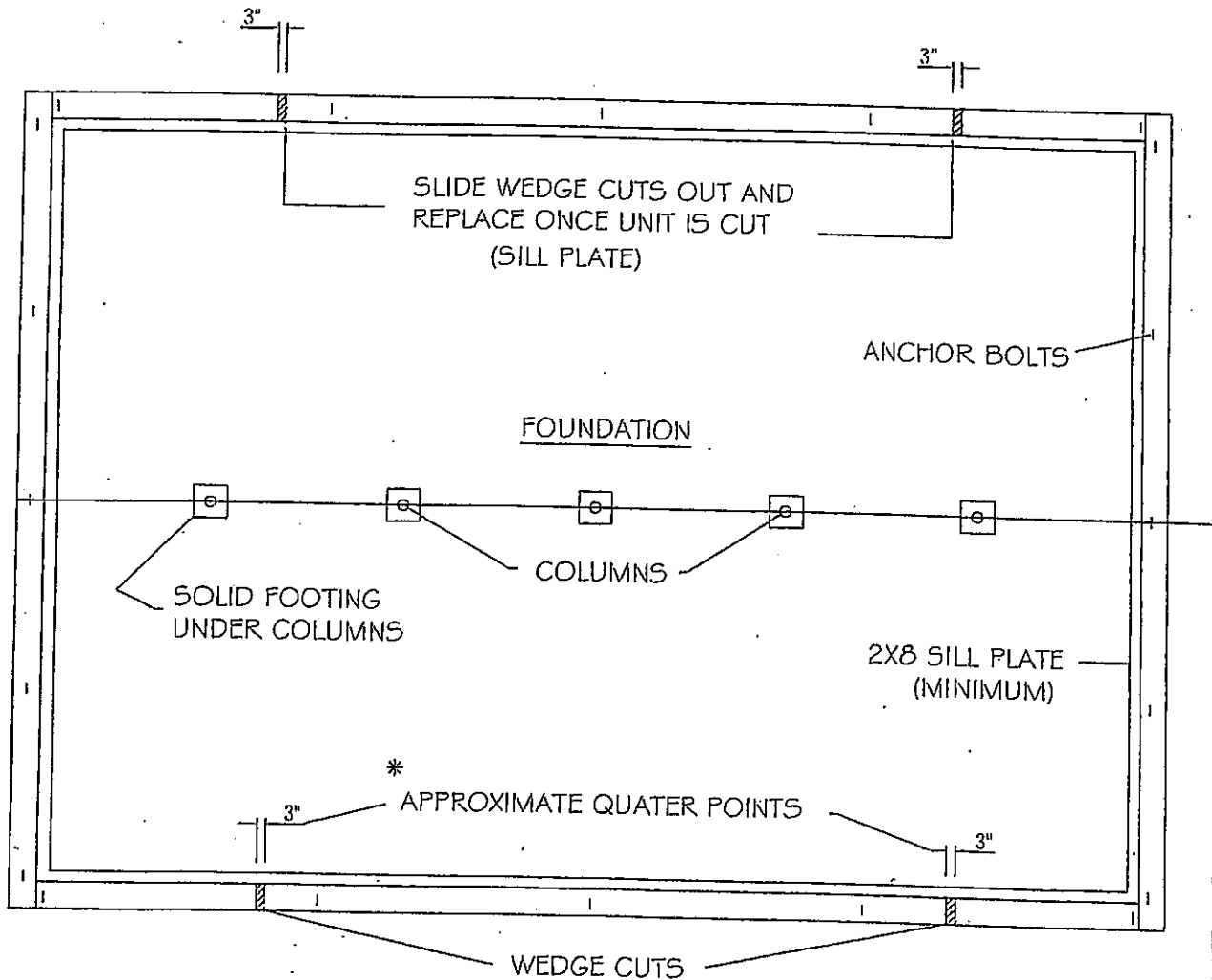
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FIGURE 3.



TYPICAL FOUNDATION PREPARATION

* IN SOME CASES;
DEPENDING ON BOX SIZE
AND/OR CONFIGURATION, 3 OR
MORE LIFTING CABLES MAY
BE REQUIRED. (TO BE
DETERMINED BY SET CREW.)

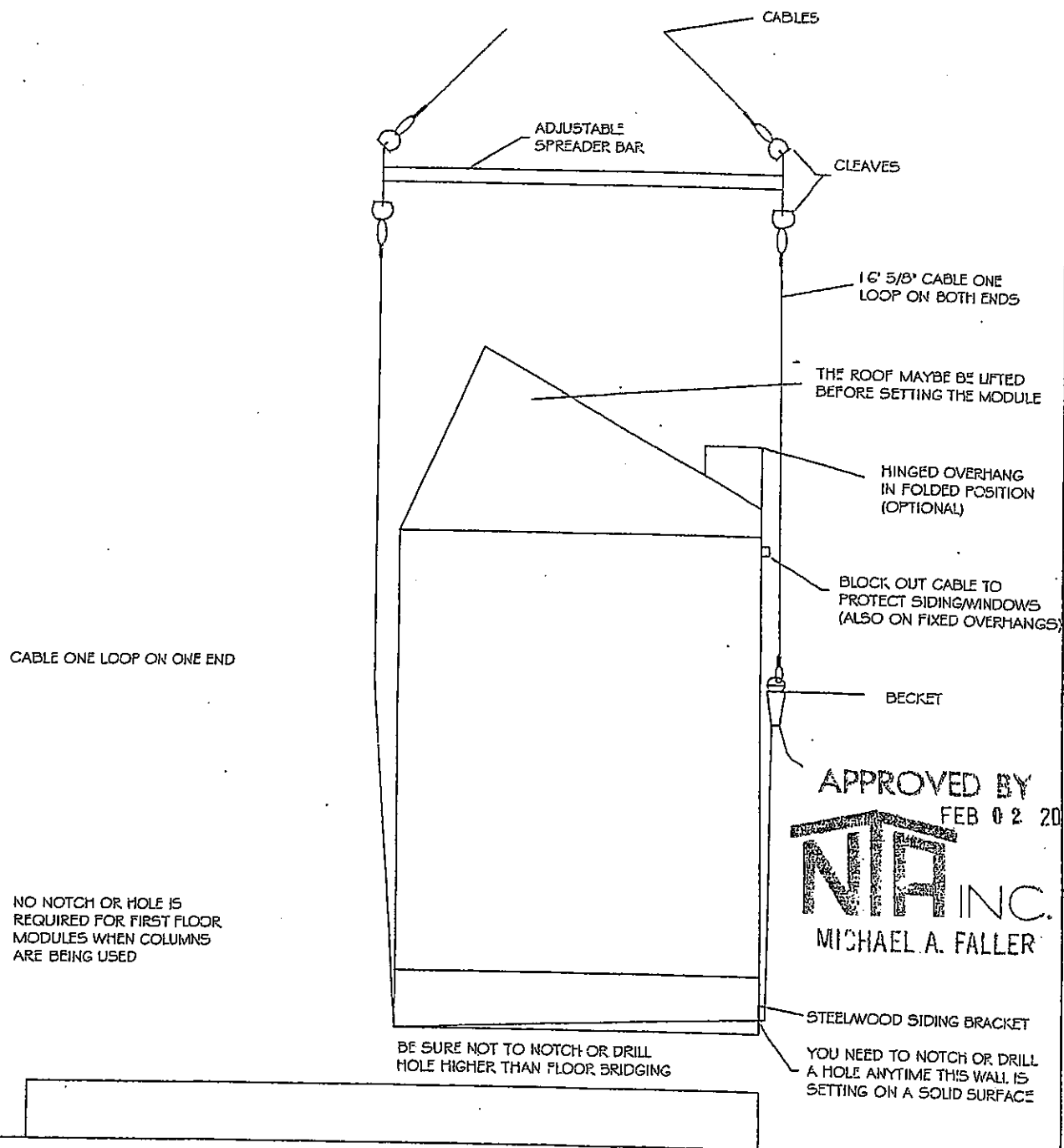
STRETCH A STRING LINE FROM END
TO END AND MEASURE DOWN TO
EACH COLUMN FOOTING PAD TO
ASSURE PROPER HEIGHT OF COLUMNS

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FIGURE 4.

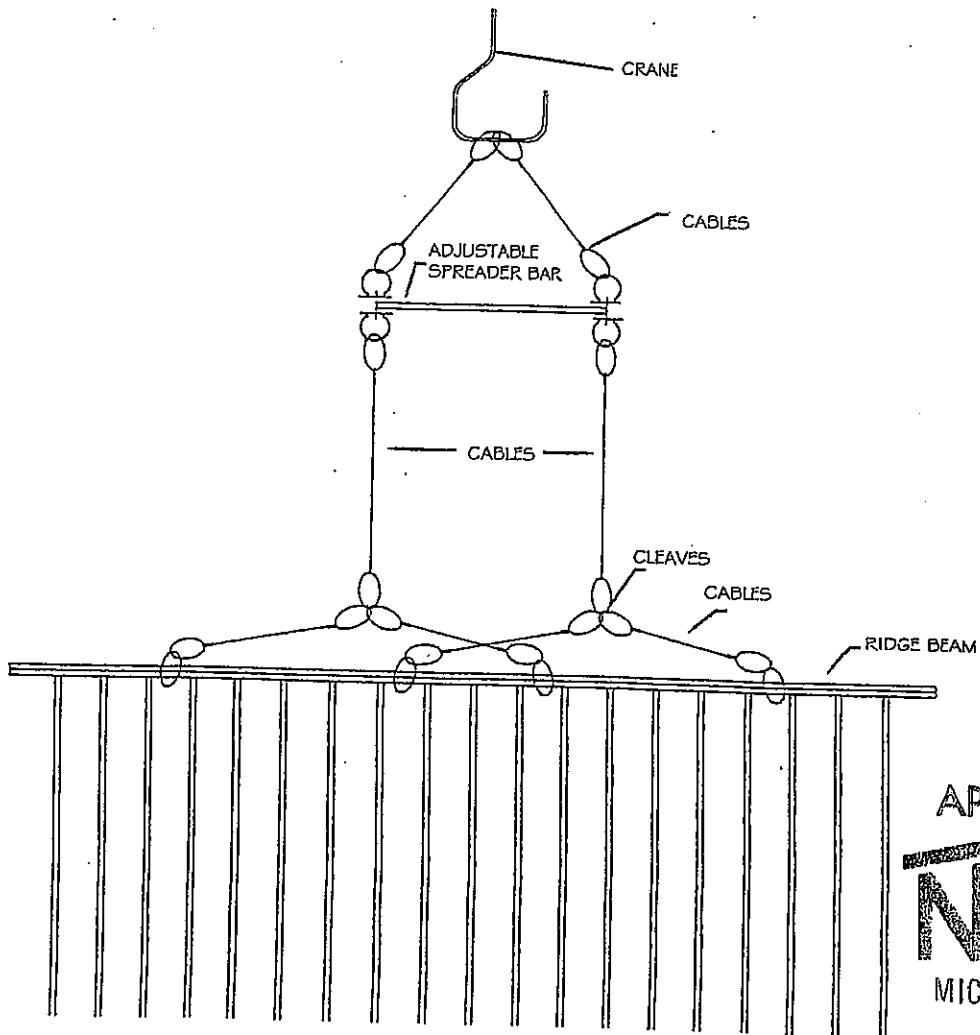
Rev.	Qty.	Description	Date
A			
B			
C			



NOTE: BE SURE NOT TO NOTCH OR DRILL HOLES IN THE PERIMETER JOIST THICKER THAN THE LIFTING DEVICE

TYPICAL HOOK-UP FOR LIFTING MODULE
(END VIEW)

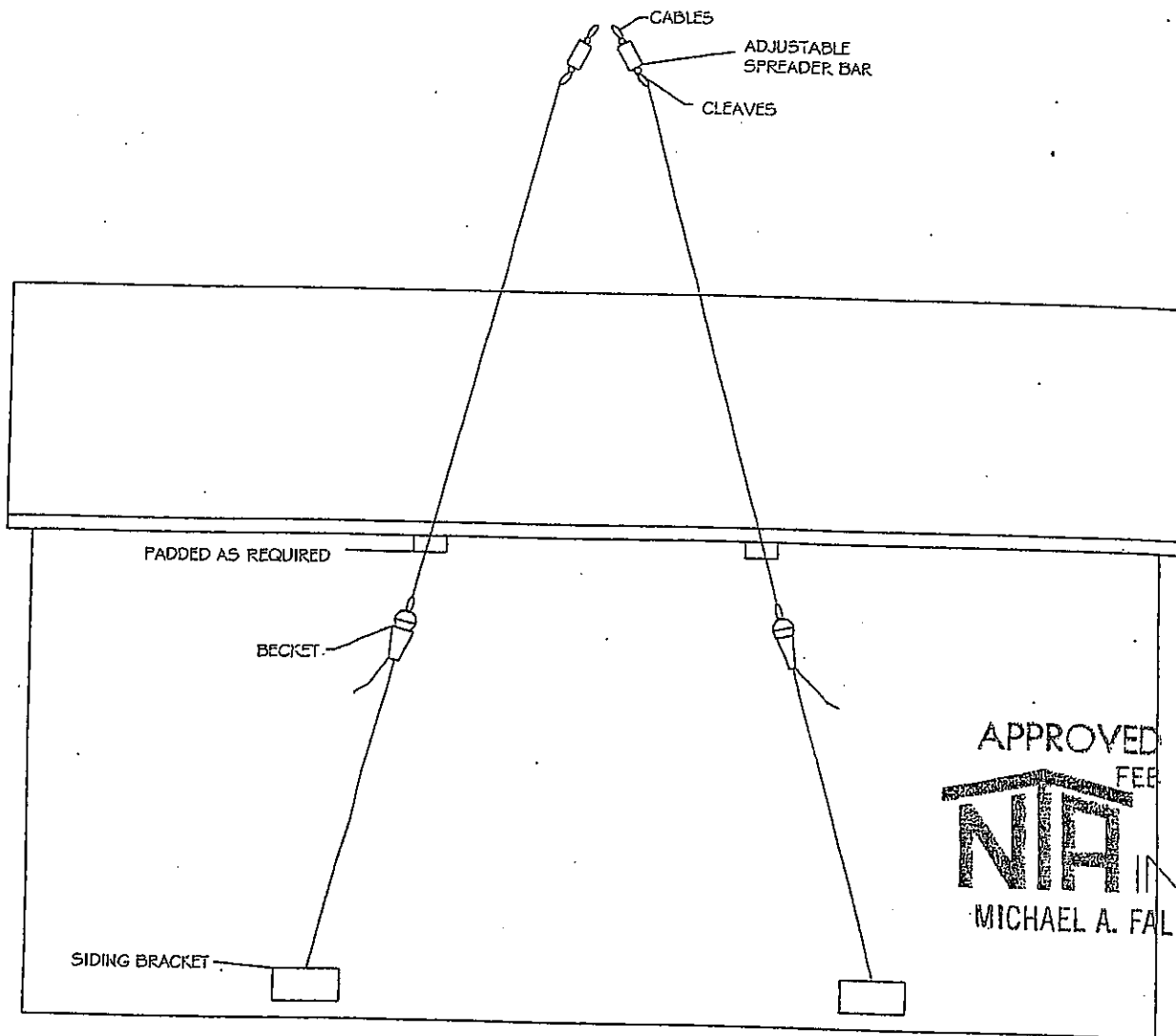
FIGURE 5.



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TYPICAL HOOK-UP FOR LIFTING ROOF

FIGURE 6.



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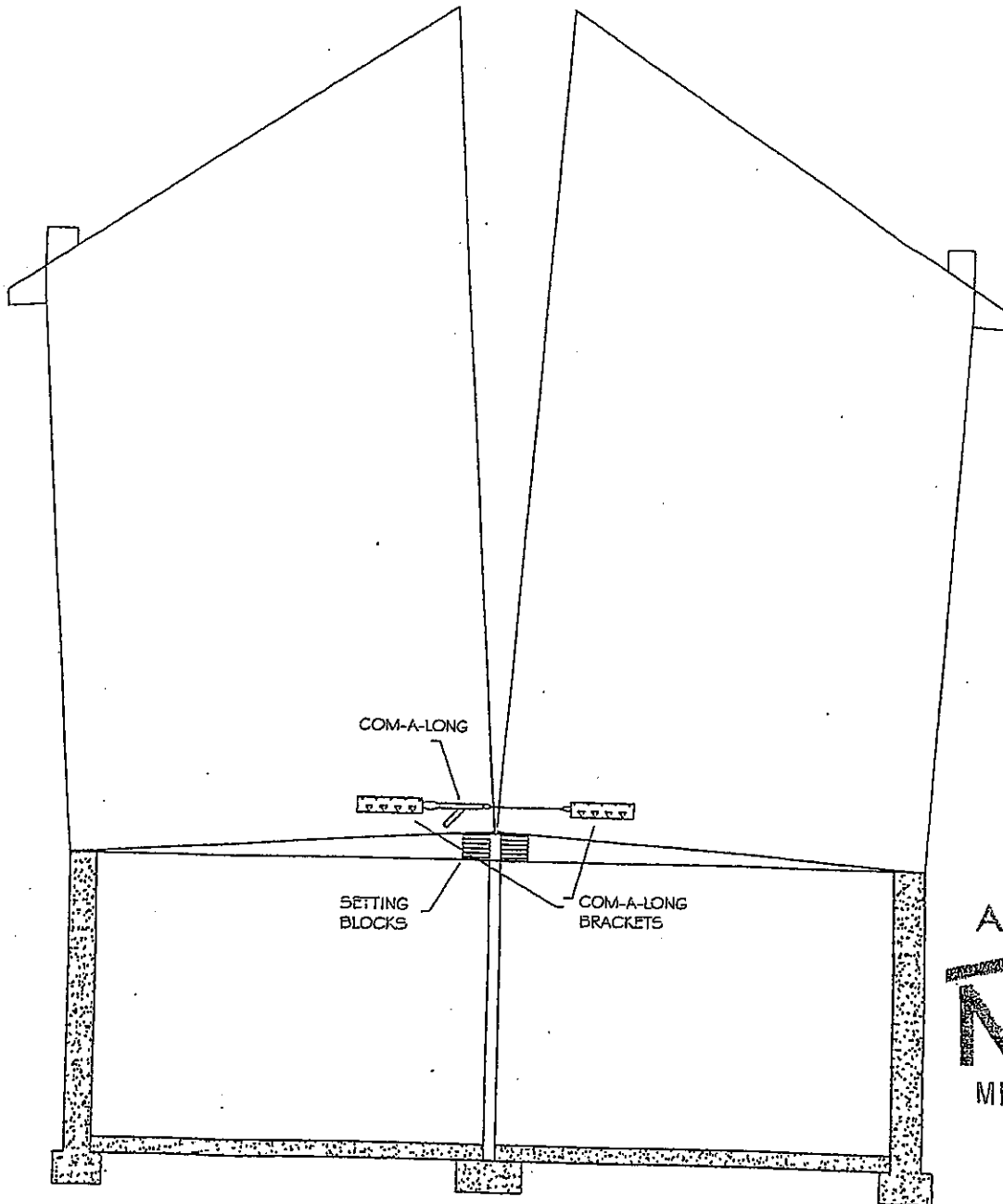
1/4"	1/4"	1/4"	1/4"
------	------	------	------

NOTE: BE SURE NOT TO NOTCH OR DRILL HOLES IN
THE PERIMETER JOIST THICKER THEN THE LIFTING DEVICE

TYPICAL HOOK-UP FOR LIFTING MODULE

FIGURE 7.

Rev.	Drawn By	Description	Date
1			
2			
3			
4			



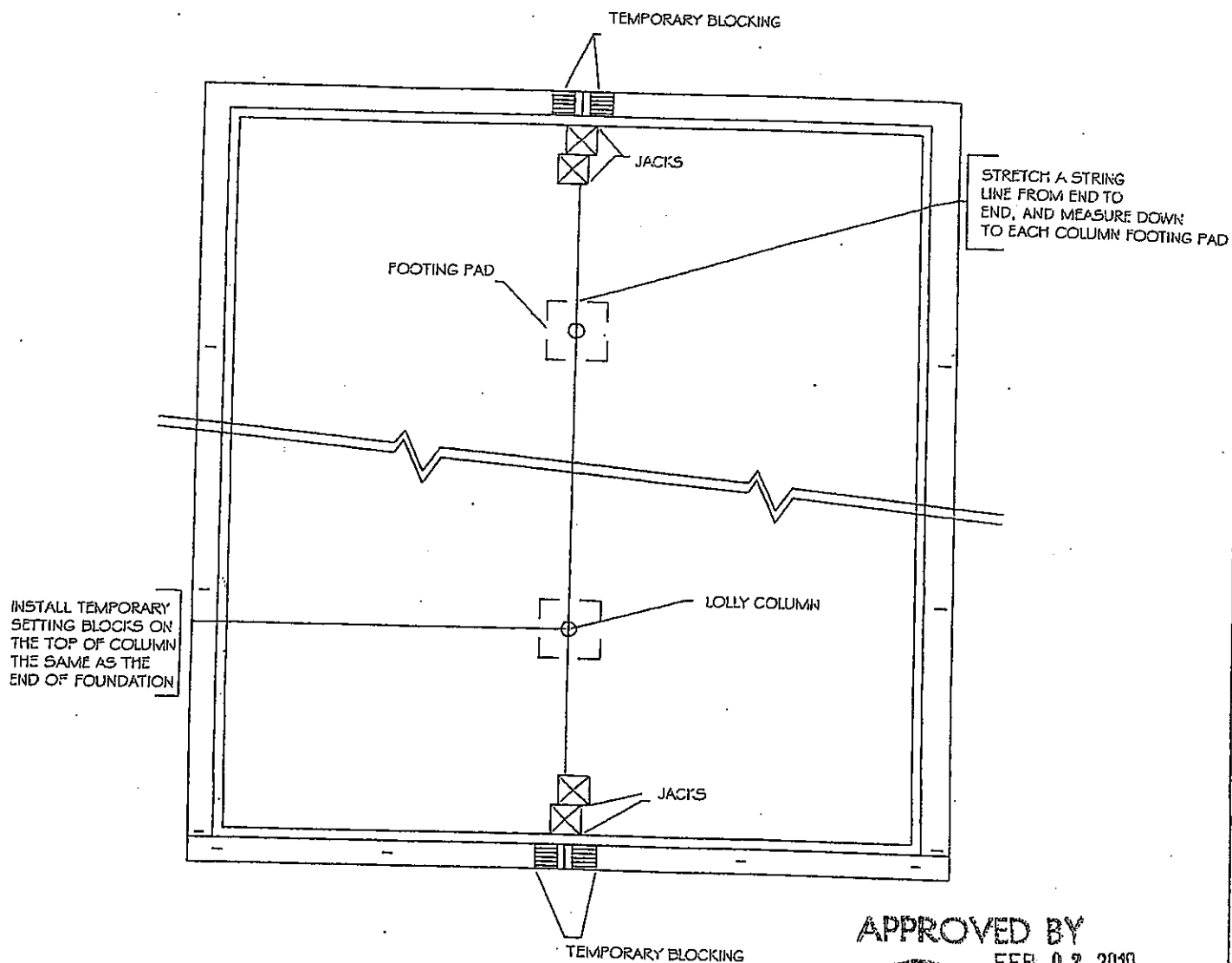
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TYPICAL DETAIL FOR DRAWING MODULES TOGETHER

FIGURE 8.

Rev.	Description	Date
A		
B		
C		

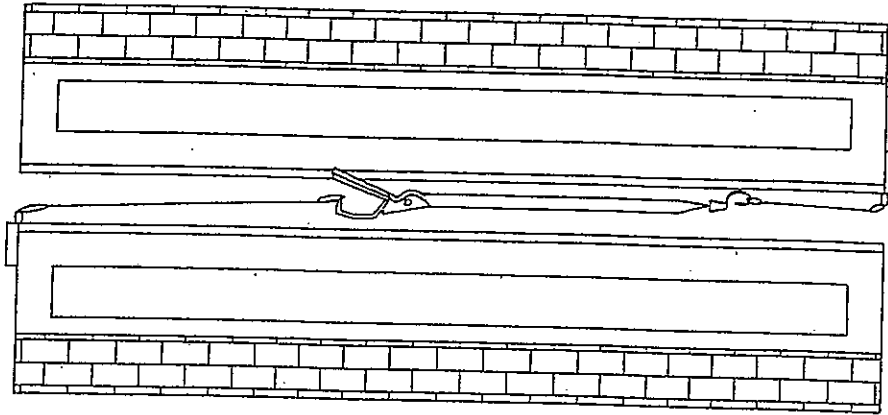


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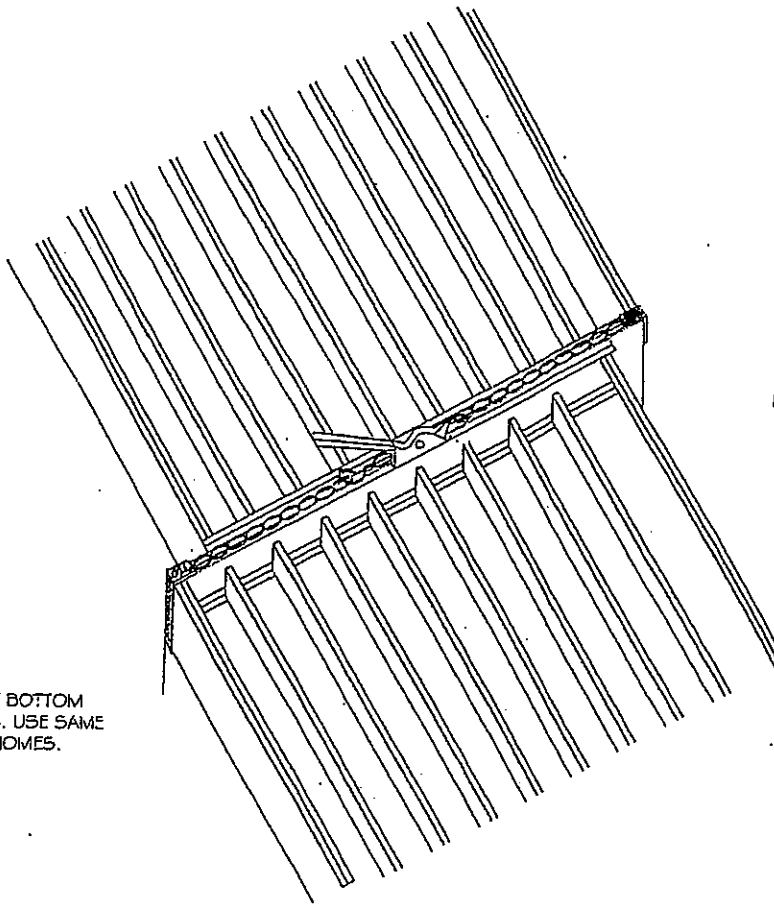
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MICHAEL A. FALLER

TYPICAL DETAIL FOR DRAWING MODULES TOGETHER

Rev.	Drawn by	Description	Date
A			
B			
C			



BEFORE INSTALLING TOP FLIP

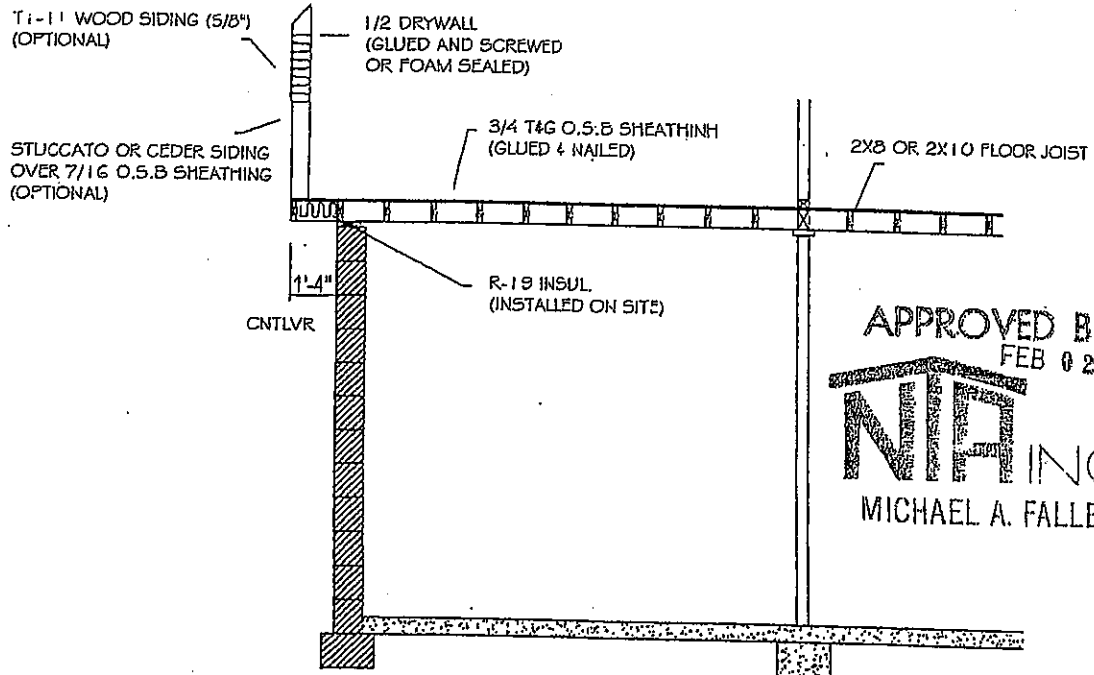


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MICHAEL A. FALLER

TYPICAL DRAWING FOR TOP OF BOTTOM
STORY OF TWO STORY HOMES. USE SAME
HOOK-UP FOR SINGLE STORY HOMES.

TYPICAL DETAIL FOR UNRACKING ROOF
TO ALIGN GABLE ENDS

1ST FLOOR



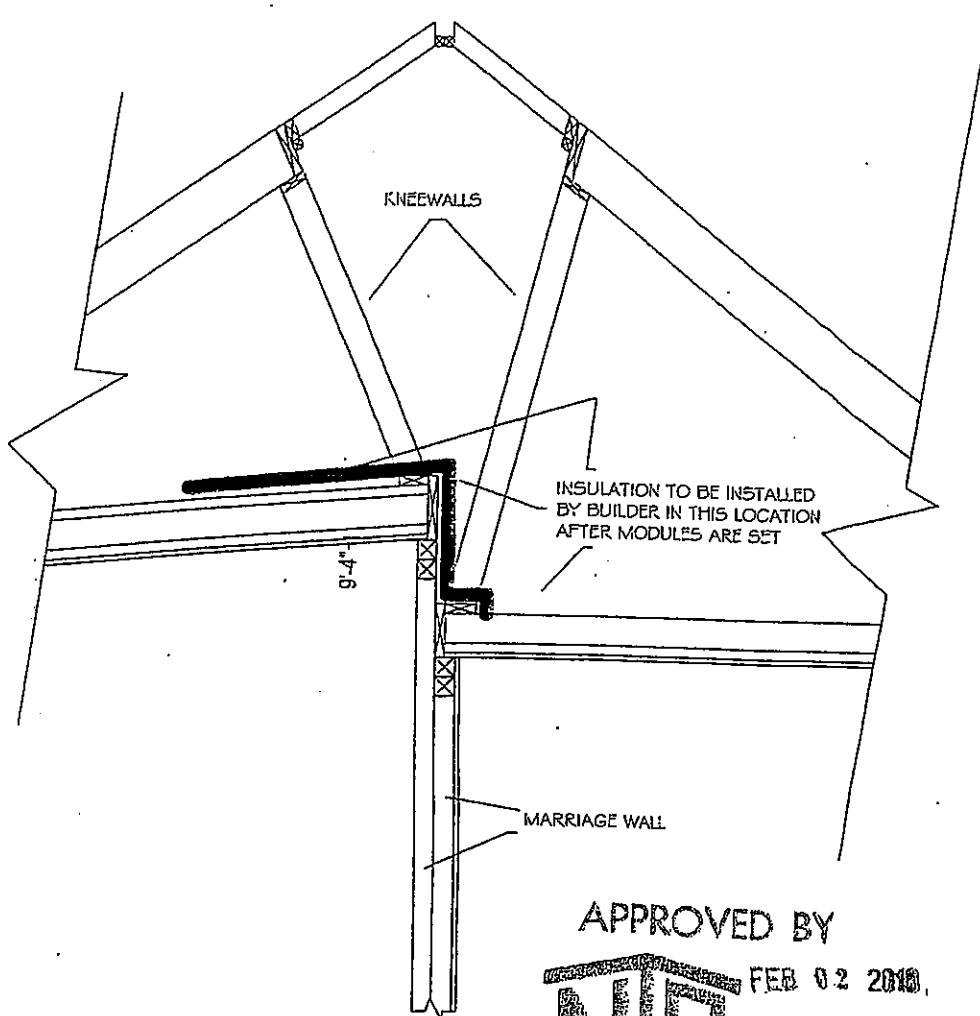
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FEB 02 2010

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MICHAEL A. FALLER

CANTILEVER DETAIL FOR
2-STORY OR RANCH APPLICATION

FIGURE 11.

Rev	Dim	By	Description	Date
A				
B				
C				



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FEB 02 2010

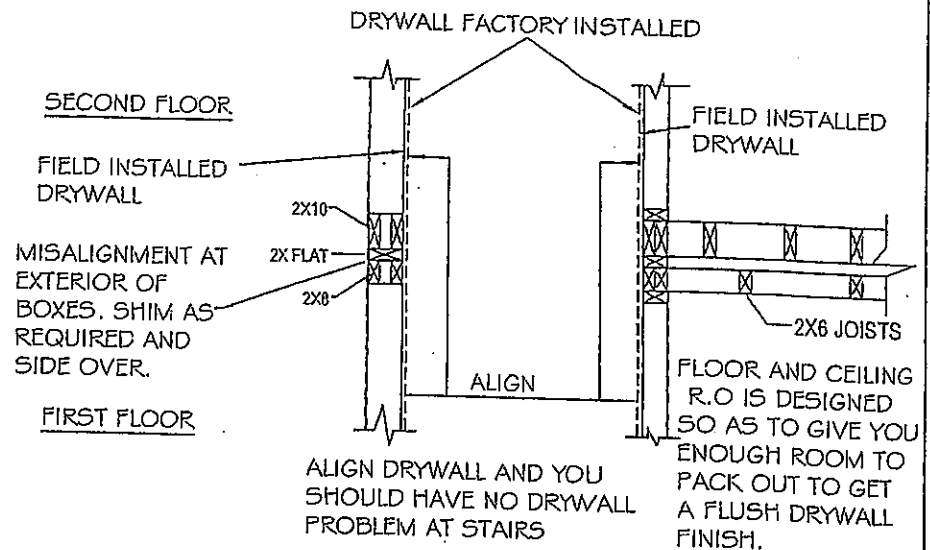
IBA INC.

MICHAEL A. FALLER

ON SITE INSULATION DETAILS FOR A SLOPED
CEILING, JOINED TO A FLAT CEILING. MOD.

FIGURE 12.

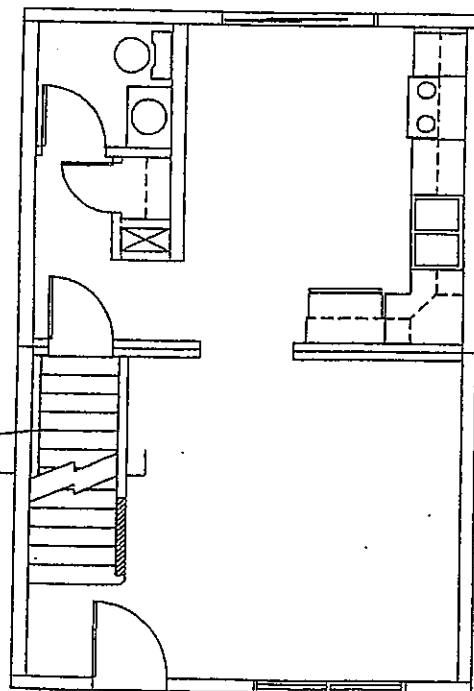
Rev	Drawn By	Description	Date
A			
B			
C			



SECTION AT STAIRWELL

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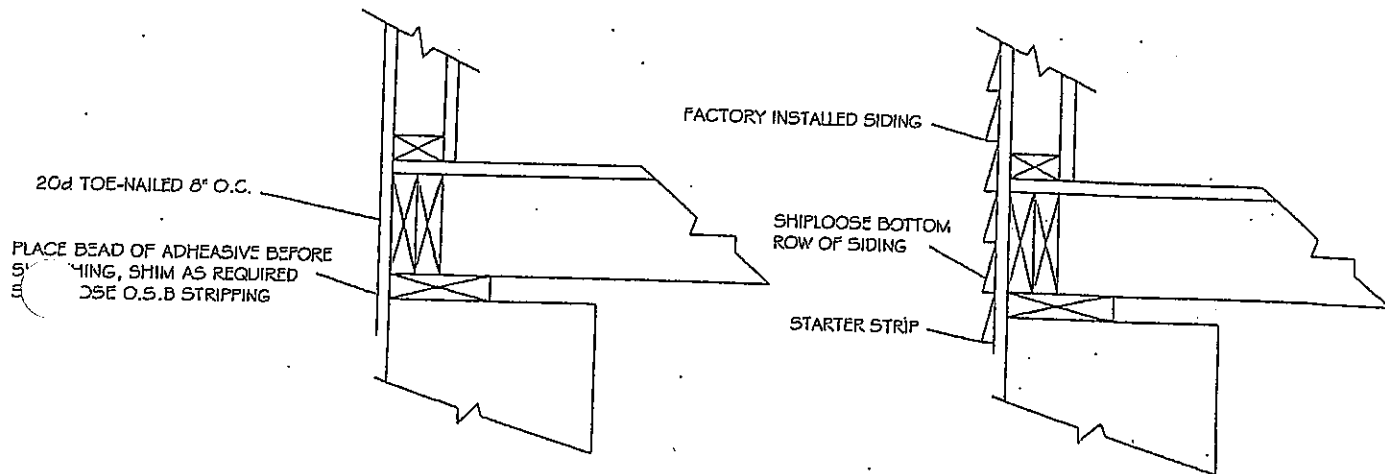
PROPER STAIR ALIGNMENT
FOR TWO-STORY UNIT



CRITICAL AREA OF SET (STAIRS)

- IF STAIRS DO NOT LINE UP YOU COULD HAVE A PROBLEM FINISHING YOUR HOUSE
- BY TAKING A PRECAUTION AT SET TIME AND ALIGNING THE STAIRS YOU COULD SAVE YOURSELF SOME COSTLY DRYWALL PROBLEMS
- LINE UP THE STAIR OPENINGS RATHER THAN THE EXTERIOR OF THE BOXES. THE EXTERIOR CAN BE SHIMMED AND COVERED WITH THE SIDING IF NECESSARY. STAIRS THAT MISALIGN REQUIRE DOUBLE DRYWALLING OR EVEN STAIR REMOVAL

Rev	Qty	Description	Date
A			
B			
C			



SIDING APPLICATION

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FIGURE 14

Rev.	Issued By	Description	Date
1	mm	modn	2011
2			
3			

NOTE

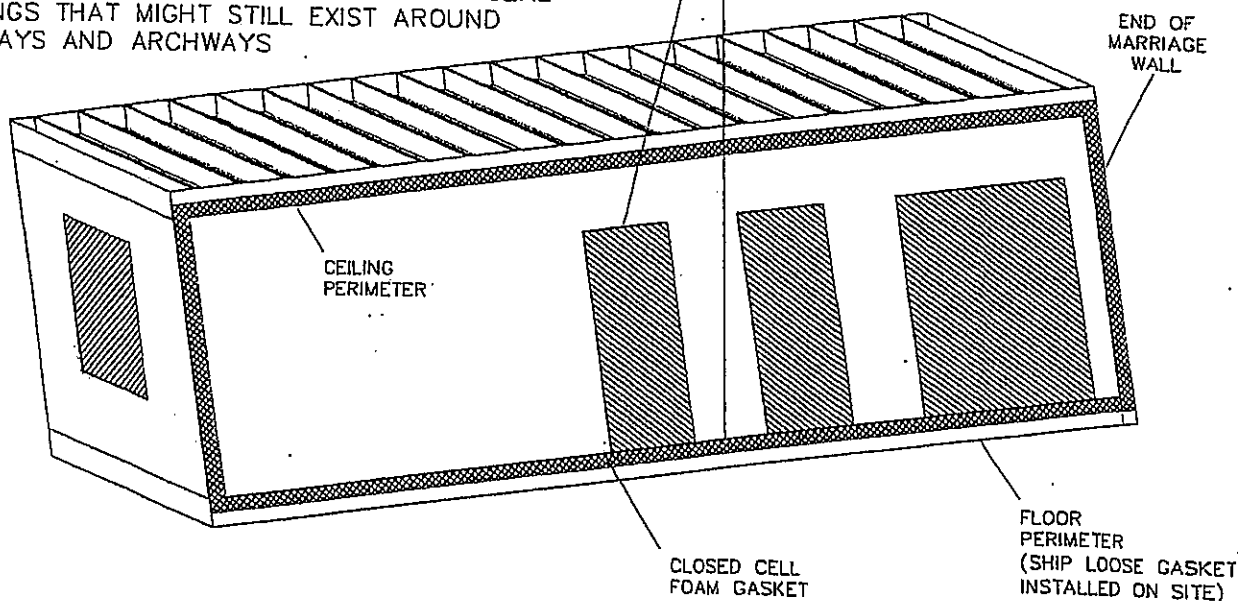
ENTIRE PERIMETER OF MARRIAGE WALL AREA— FLOOR BEAM, CEILING BEAM, AND BOTH ENDS OF MARRIAGE WALL OF ONE MODULE MUST HAVE CLOSED CELL FOAM GASKET APPLIED BEFORE TWO MODULES ARE SET TOGETHER.

A CHIMNEY EFFECT RESULTING IN A COLD MARRIAGE WALL WILL RESULT IF THIS IS NOT DONE

FACTORY WILL INSTALL GASKET TO CEILING PERIMETER AND ENDS OF MARRIAGE WALL.
MATERIAL WILL BE SHIPPED LOOSE FOR FLOOR PERIMETER TO BE COMPLETED ON SITE BY SET CREW.

IT IS ALSO RECOMMENDED THAT DEALER SUPPLIED AEROSOL TYPE FOAM INSULATION BE USED TO SEAL ANY OPENINGS THAT MIGHT STILL EXIST AROUND ALL DOORWAYS AND ARCHWAYS

AFTER HOME IS SET AND ALL BOLTING, STRAPPING, ETC. IS COMPLETE. SEAL BETWEEN MARRIAGE WALLS AT OPENINGS AND UNDERSIDE OF FIRST FLOOR WITH A LOW EXPANSION FOAM (SUPPLIED BY OTHERS)



1ST FLOOR OF A TWO-STORY IS SHOWN, THIS IS TO BE DONE ON ALL TYPES OF HOUSES AT EACH FLOOR LEVEL

AIR INFILTRATION SYSTEM

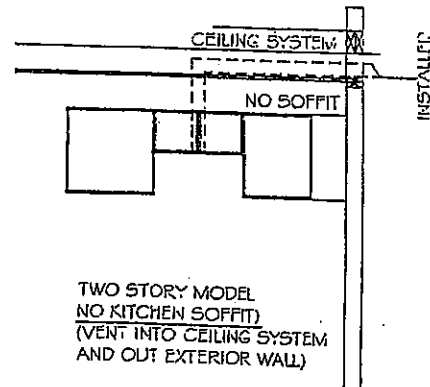
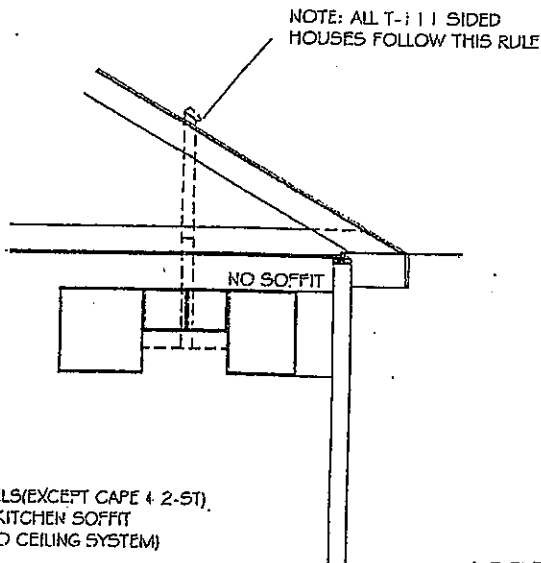
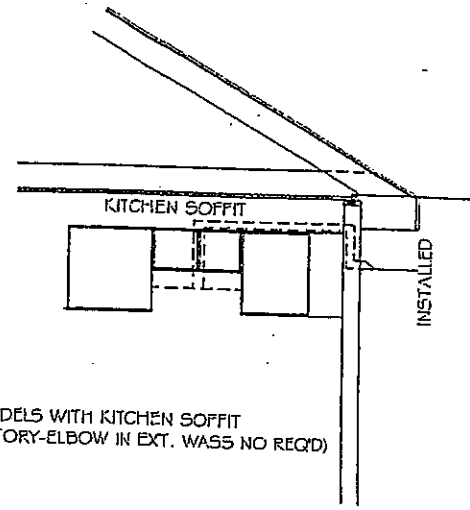
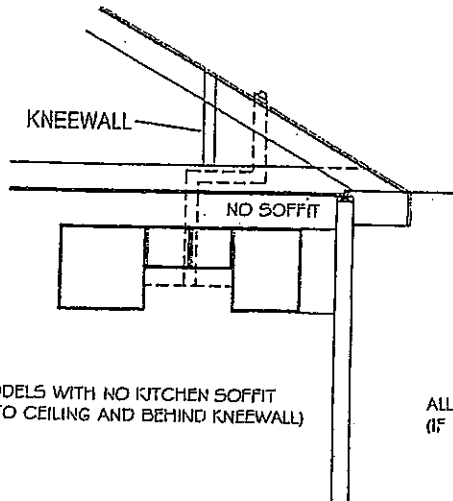
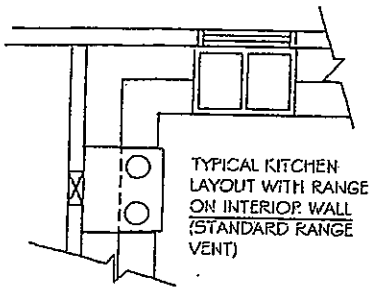
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APR 1 2011

FIGURE 16.
(SEE PAGES 3 & 4)

Rev.	Dim By	Description	Date
A			
B			
C			



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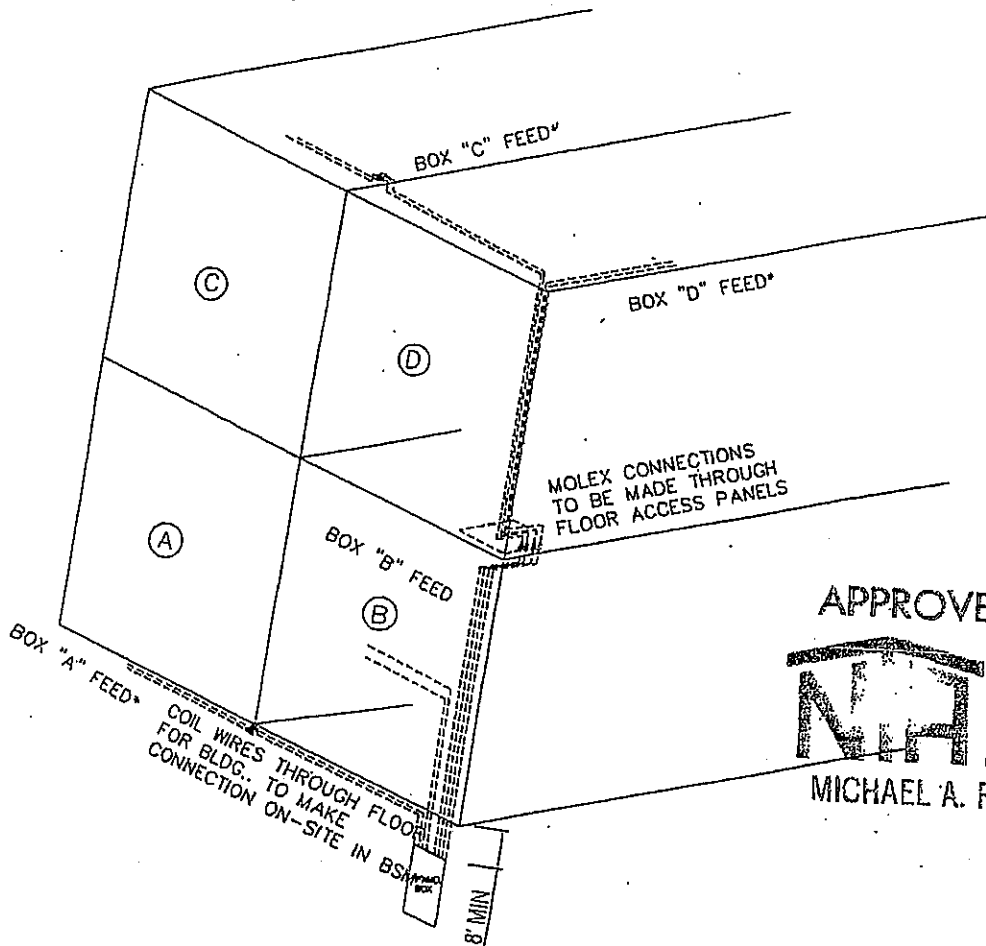
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KITCHEN VENTING DETAILS

FIGURE 17.

* FEEDS FROM BOXES A,C,AND D MAY BE UNSPLICED WIRE DROPS DIRECT TO PANEL BOX



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MICHAEL A. FALLER

ENGINEERING TO SHOW

1. ACCESS PANELS (A: NOTE "MOLEX" CONN. ACCESS PANEL)
THIS ACCESS CAN BE PERMANENTLY FASTENED AFTER MAKING
CONNECTIONS

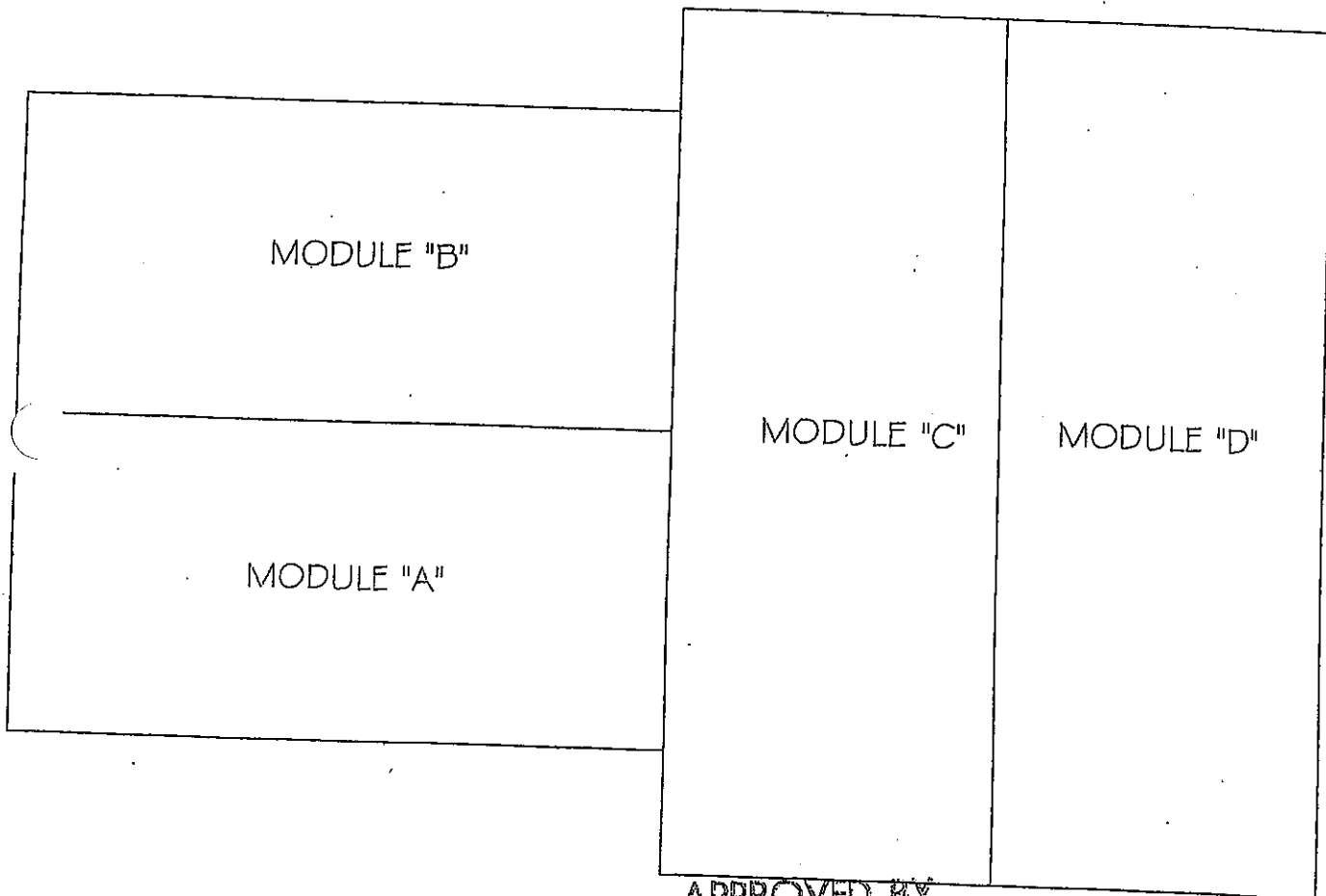
NOTES:

- 1.- LOCATION OF FLOOR ACCESS PANELS MAY VARY PER HOUSE
- 2.- LOCATION OF ELECTRICAL DROP MAY VARY PER HOUSE

IN LIEU OF JUNCTION BOXES OR MOLEX
CONNECTORS CABLE LENGTHS MAY BE
ADJUSTED TO RUN DIRECTLY TO PANEL BOX.

TYPICAL ELECTRICAL CROSSOVER PLAN

FIGURE 18.



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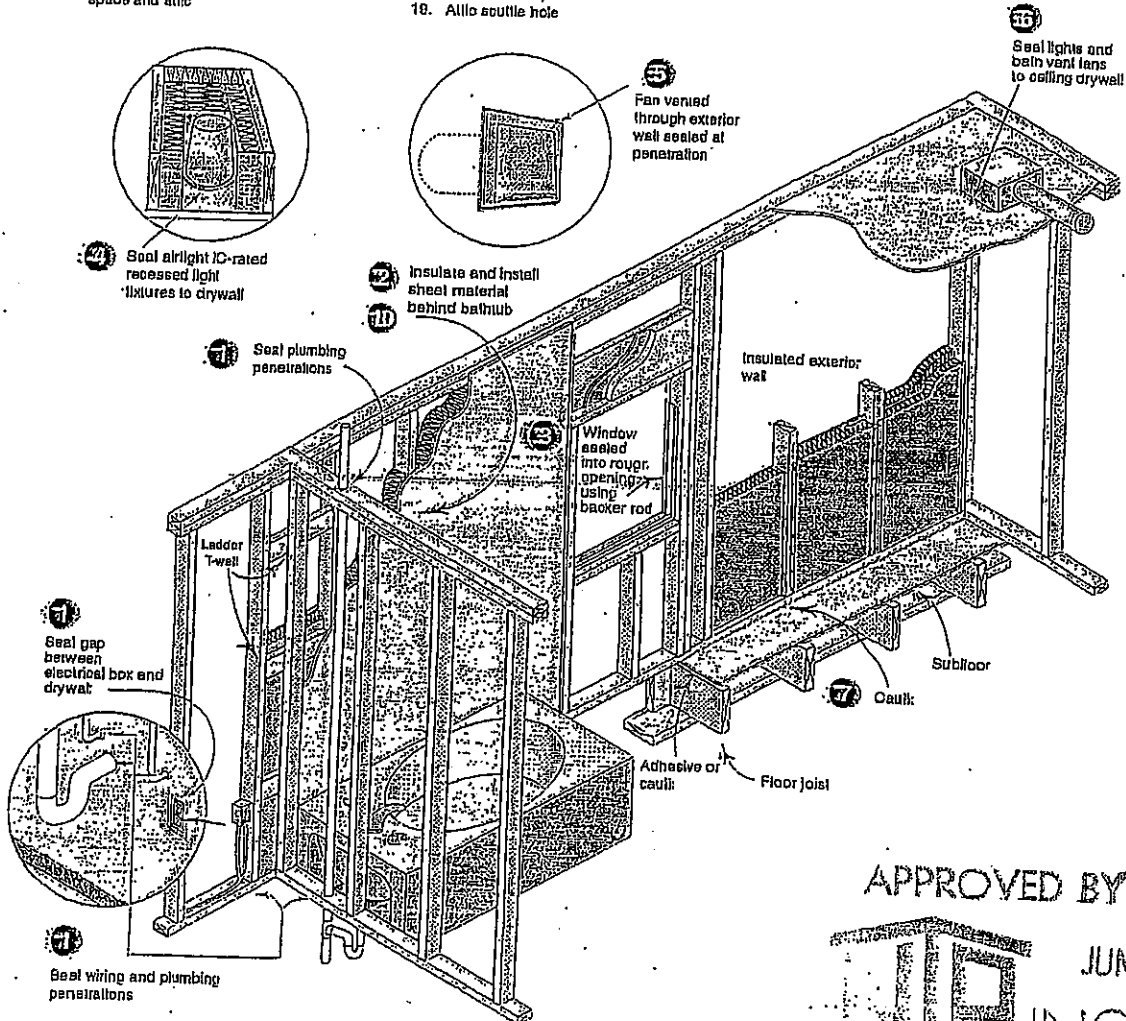
SPLIT LEVEL/ "T" RANCH MODULE PLAN

FIGURE 19.

AIR SEALING KEY POINTS

Air sealing key points

1. Building envelope plate and wall plumbing and electrical penetrations
2. Tub/shower on outside or attic wall
3. Window and door rough openings
4. Airtight, IC-rated recessed lights and electrical fixtures exposed to attic
5. Exterior wall exhaust fan terminations
6. Ceiling mounted bath fans, speakers, etc.
7. Bottom plate and top plate
8. Seams between rigid exterior sheathing
9. Band area between floors, conditioned space and attic
10. Tub on exterior wall
11. Mechanical equipment and ductwork chases in attics, crawlspaces
12. Ceiling/crawlspace electrical boxes
13. Ceiling/crawlspace HVAC boots
14. Shower and tub drain line
15. Fireplace inserts
16. Attic kneewall doors
17. Joist cavities under attic kneewalls
18. Transition between ceiling heights (e.g., 10' in R')
19. Attic scuttle hole
20. Attic pull-down stairs
21. Wall penetrations of mechanical combustion closets
22. Thresholds at mechanical combustion closet doors
23. Band joist exposed to exterior
24. Band area exposed to unconditioned space (such as basement or porch)
25. Exterior wall penetrations for refrigeration lines, condensate line, etc.



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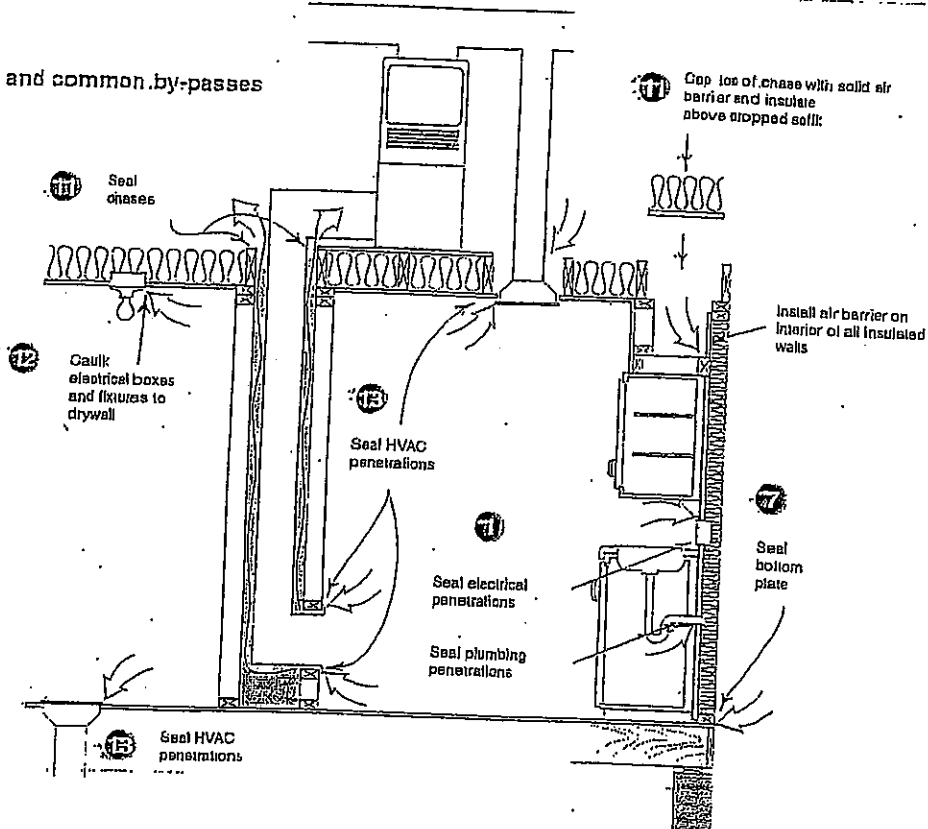
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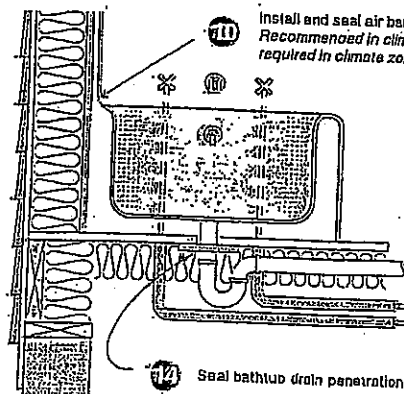
FIGURE 20

Air sealing key points *continued*

Chases and common by-passes



Shower/tub drain rough opening



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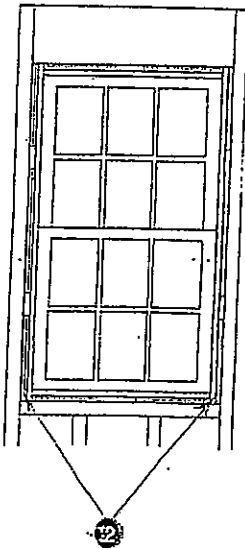
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JUN - 8 2010

FIGURE 21

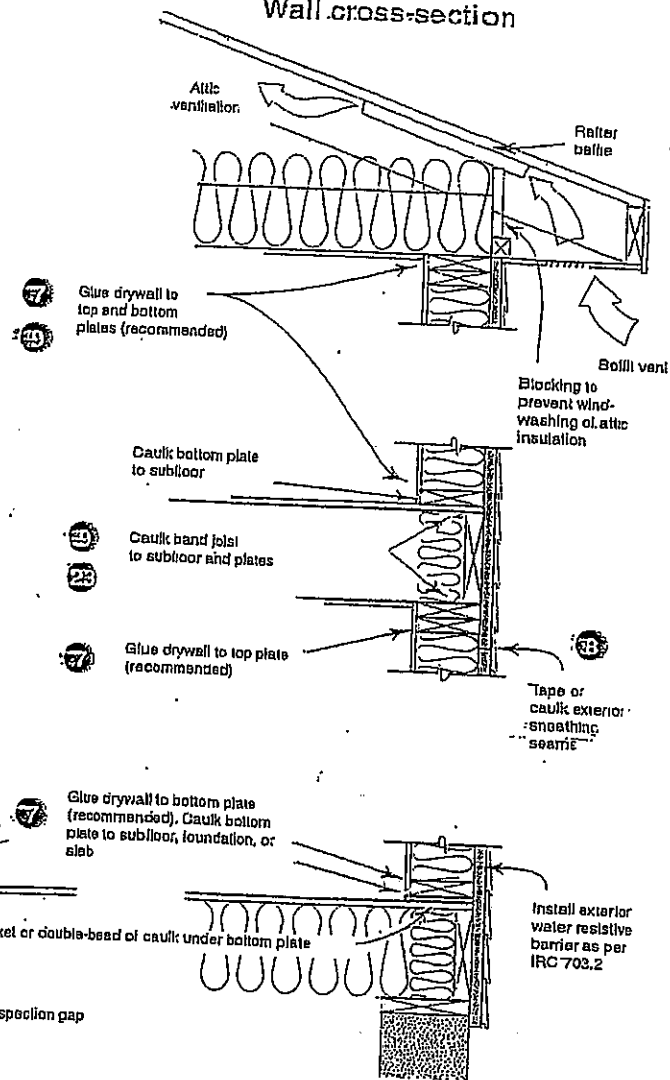
Air sealing key points *continued*

Window rough opening



Use backer rod or spray foam (appropriate for windows) to fill gaps between window/door and rough opening

Wall cross-section



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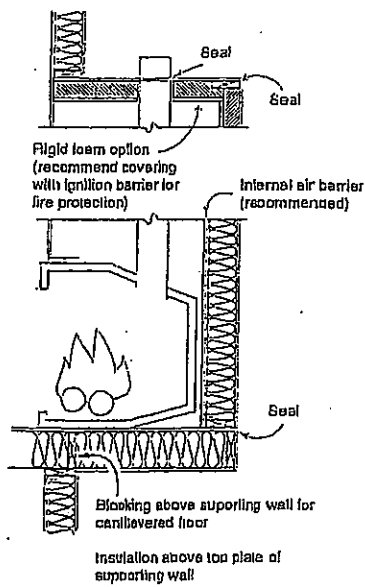
JUN - 8 2010

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Figure 22

Air sealing key points *continued*

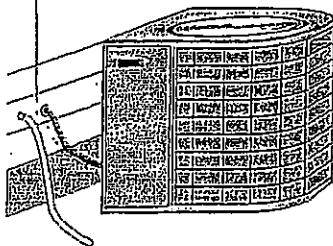
Combustion chase penetrations



Seal around chimney flues with sheet metal cap

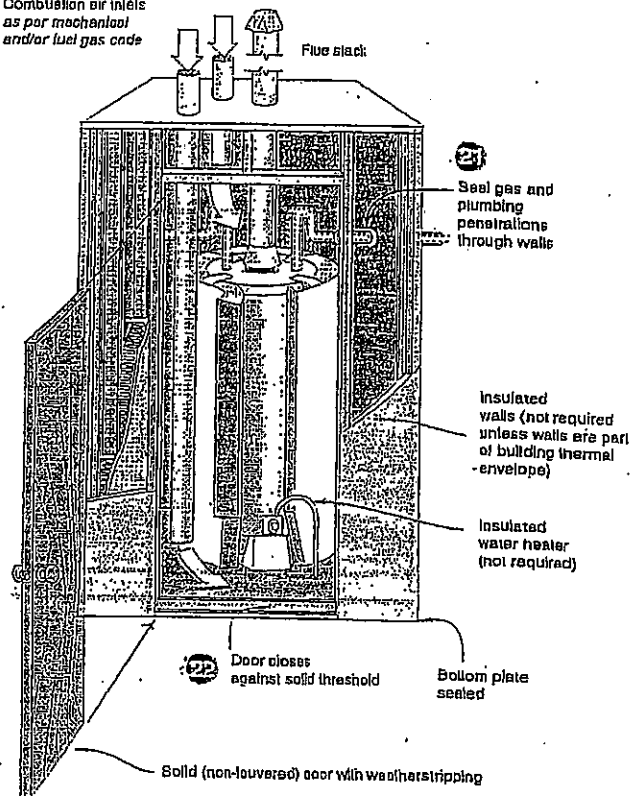
Exterior penetrations

Caulk exterior wall penetrations for refrigeration lines, condensate line, etc.



Combustion closet

Combustion air inlets
as per mechanical
and/or fuel gas code



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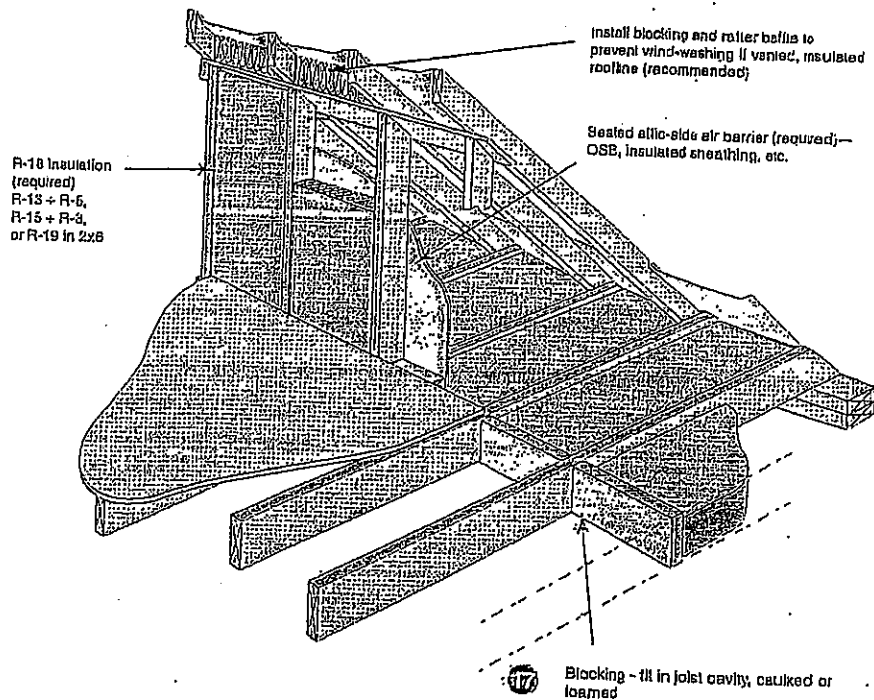
NIA INC.

MICHAEL A. FALLER

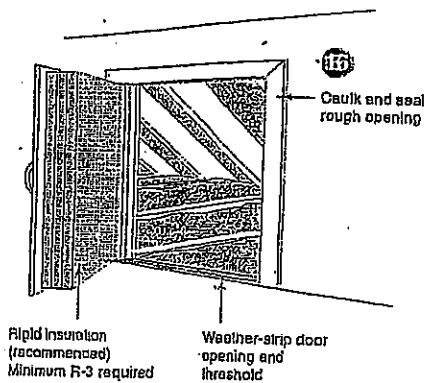
JUN - 8 2010

FIGURE 23

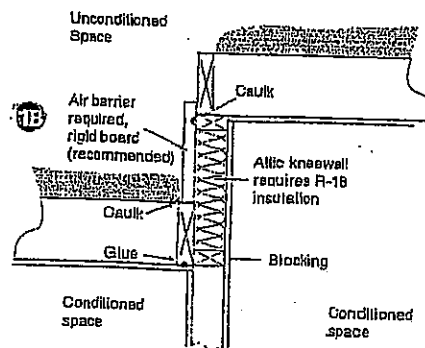
Air sealing key points *continued*



Attic knee walls



Two-level attic



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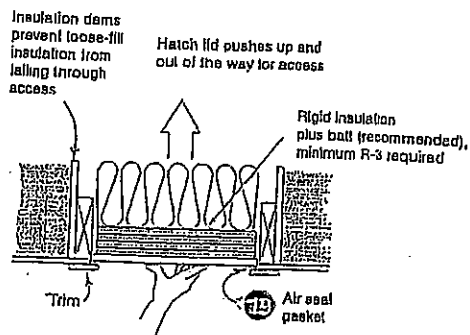
MICHAEL A. FALLER

JUN - 8 2010

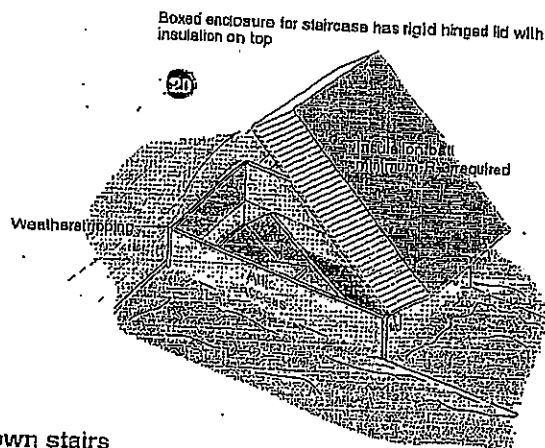
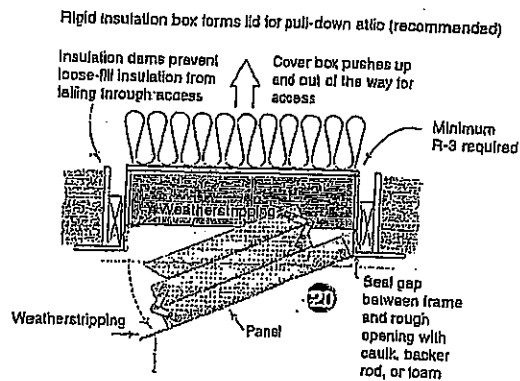
FIGURE 24

Air sealing key points *continued*

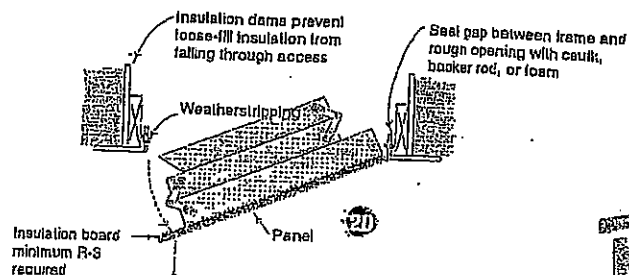
Attic scuttle



Attic pull-down stairs



Attic pull-down stairs



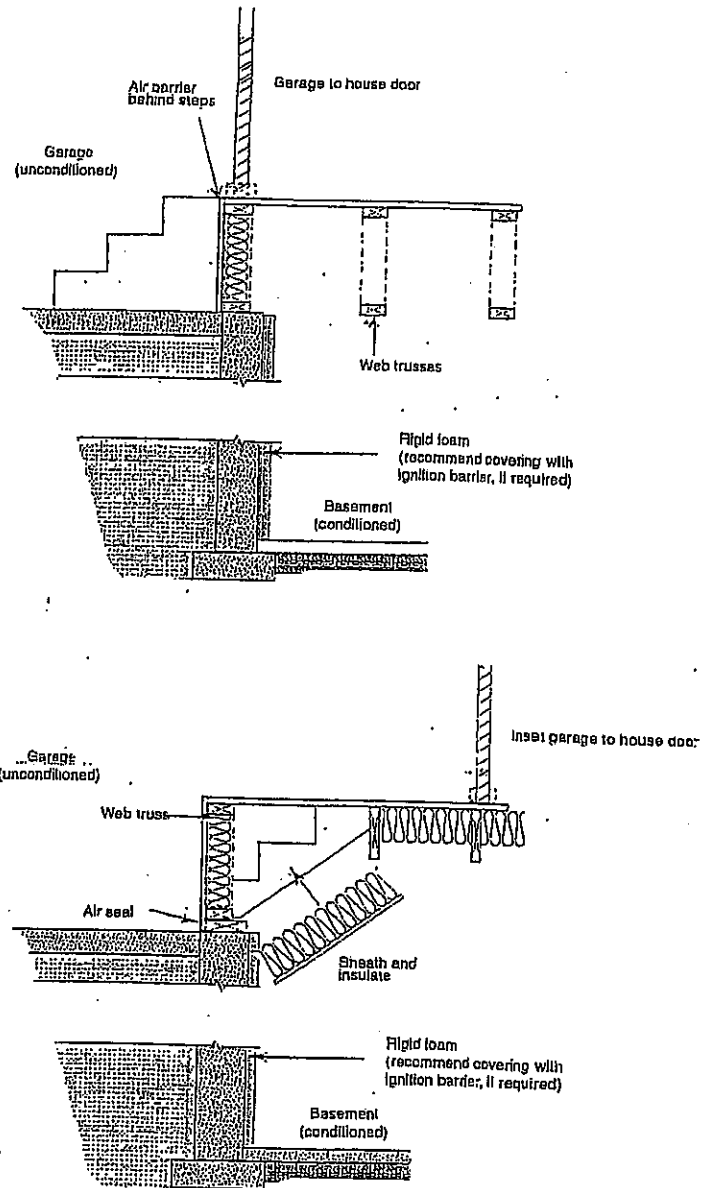
APPROVED BY

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JUN - 8 2010

Air sealing key points *continued*



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JUN - 8 2010

FIGURE 26

**DOCUMENTS SUBMITTED AFTER
SEPT. 25, 2012 FACT-FINDING
CONFERENCE**

C

C

C

Integrity Building Systems, Inc.
Modular Plant #1
Quality Assurance Checklist

Model: COST TWO STORY
Start Date: 6/21/11
PA Labeled Units:

Serial No: 1991 B

All plans pertaining to this home contain the required statement regarding certification that this home is not a HUD Code Manufactured Home, but rather a modular home constructed in conformance with the applicable codes of the Commonwealth of Pennsylvania.

Approved By: N/A

Date: 6/20/11

Station #1 ABCDE - Floors, plumbing

<u>Task Description</u>	<u>Inspected</u>	<u>Infraction</u>
1. Triple edge joists at mating wall--#2 or better	<u>CD</u>	
2. Double edge joists on exterior side wall--#3 or better	<u>CD</u>	
*3. Edge joist fastened to transverse joists with--	<u>CD</u>	
(5)-16d nails on 2x10's		
(4)-16d nails on 2x8's		
(4)-16d nails edge to edge		
4. 2x4 bridging on OJ2000 floor joist	<u>N/A</u>	
5. Proper hanger support and installation	<u>CD</u>	
(per manu. installation instructions)		
6. 19/32 or 23/32 OSB or plywood decking	<u>CD</u>	
installed with 6d ring shank nails--		
10"oc Field and 6"oc Edges		
7. 19/32 or 23/32 OSB or plywood decking end	<u>CD</u>	
joints properly gapped 1/16"		
*8. Stairwell properly framed	<u>CD</u>	
*9. Copper water lines run for HWBB	<u>N/A</u>	
10. Anti Scald faucet on deck mount tubs (NJ)	<u>N/A</u>	
11. PEX Plumbing Fastening	<u>N/A</u>	
*12. Copper tubing, PVC runs properly installed ,	<u>N/A</u>	
supported with proper slope on DWV		
*13. Insulation installed properly under floor area,	<u>N/A</u>	
netting installed and secured to framing		
*14. Frame tub/shower drain area for infield	<u>N/A</u>	
firestopping		
15. Vertical support fasteners every 60" (piping)	<u>N/A</u>	
16. Horizontal support fasteners every 32" (piping)	<u>N/A</u>	
14. Trap(s) strapped at tub(s) first floor only	<u>N/A</u>	
15. Access panels cut in for vent lines and hot	<u>N/A</u>	
water connections on 2 story units		
16. Vinyl floor covering per order	<u>N/A</u>	
17. Tub/shower fixtures and color per order	<u>N/A</u>	
18. Registers (floor or wall) and returns per print	<u>N/A</u>	
19. Solid block bridging to joist each bay--	<u>CD</u>	
(3)-.131x3" nails per end		
20. Prep for 2 nd floor dryer vent	<u>N/A</u>	
21. Temporary steel floor brace (at box offset)	<u>N/A</u>	
22. Plumbing tree test 105PSI for 30 minutes min.		
(125 PSI for State of MA)		

Sign-off on Testing Report Page

Comments:

Inspected by: [Signature]

Date: 6/21/11

**Those items indicated with an asterik (*) and bold type are required to be visually inspected before concealment.

APPROVED BY
FEB 02 2010
NIA INC
MICHAEL A. FALLER

1991B

Integrity Building Systems, Inc.
Modular Plant #1
Quality Assurance Checklist

NIA INC. JUN 29 2010
MICHAEL A. FALLER

Station #2 ABCD - Walls, roof, insulation, electricalTask DescriptionInspectedInfraction

- | | | |
|---|-----------|-----------------------|
| 1. Header & sill fastening & sizing - fasten multiple members with 15 Ga 7/16"x21/2" @ 5" oc stagger | <u>CD</u> | |
| 2. Correct number of column supports sidewall
Fasten multiple members w/ 15 Ga 7/16"x21/2" 21/2" oc or 4" oc | <u>CD</u> | |
| 3. Correct number of column supports marriage wall (with 15 Ga 7/16"x2 1/2" @ 2 1/2" oc) | <u>CD</u> | |
| 4. Marriage wall fireblocking installed (wall hgt. over 10') | <u>NA</u> | |
| 5. Partition wall fireblocking installed (wall hgt. over 10') | <u>NA</u> | |
| 6. Exterior walls 16" oc or 24" oc | <u>CD</u> | |
| 7. Partition walls 16" oc or 24" oc | <u>CD</u> | |
| 8. Washer drain installed and supported | <u>NA</u> | |
| 9. Center wall beam sizing and securing | <u>CD</u> | |
| *10. Ceiling board fastening with foam (rated assemblies fastened per listing) | <u>CD</u> | |
| 11. Compression strip | <u>CD</u> | |
| 12. Toe screw or use anchor straps to fasten trusses to sidewall | <u>NA</u> | |
| 13. Attic access | <u>NA</u> | |
| 14. Galvanized straps 1 1/4"x12"(26GA) for marriage walls floor/ceiling fastening
16 Ga 1" staple 10 per STD & every other stud
NY - 110 & 120 STD every stud | <u>CD</u> | |
| 15. Wiring protectors installed (marriage wall) | <u>CD</u> | |
| 17. Wiring protectors installed (partitions) | <u>CD</u> | |
| *18. Wiring stapled to code in ceiling cavity | <u>CD</u> | |
| *19. Vent pipe pitched & strapped to code in cig.cav | <u>NA</u> | |
| 20. NM cable properly spaced and supported in the marriage wall & side wall (11/4" from edge of framing and 48" oc) | <u>CD</u> | |
| 21. NM cable properly spaced & supported in partition walls (11/4" edge of framing & 48" oc) | <u>CD</u> | |
| 22. Skylights framed properly | <u>NA</u> | |
| 23. Firestopping of wire penetrations partitions | <u>CD</u> | |
| 24. Check integrity of NM cables | <u>CD</u> | |
| 25. Panel box location per print | <u>NA</u> | |
| 26. Carbon monoxide detector (NJ, NY, RI, and VT) | <u>CD</u> | |
| 27. Roof dormer openings per print | <u>NA</u> | |
| 28. 110 & 120 mph wind zone trusses endzone 1st 3 trusses from end HTS 16" tie down. | <u>NA</u> | |
| 29. 110 & 120 mph wind zone trusses Intermediate zone LTS 16" tie down. | <u>NA</u> | |
| 28. Exterior steel doors shimmed down 1/2" | <u>NA</u> | |
| → 29. Stairs set correctly—max. 8 1/4" rise top and bottom 9" min. tread <u>NA</u> " to top of 2x4 from last tread. | <u>CD</u> | <u>*SEE COMMENTS</u> |
| → 30. Stairs set allowing for hardwood or cement board | <u>CD</u> | <u>STAIRS ARE S/L</u> |
| 31. Tack 2x8 ledger for marriage wall - 2 story only | <u>NA</u> | |
| 32. GFCI and AFCI applications provided | <u>CD</u> | |
| 33. Air barrier and Insulation Inspection per QA Manual Appendix B Pages #1 thru #8. | <u>CD</u> | |

Comments: *STAIRS NOT INSTALLED AT THIS TIME - PROFIT - CD

Inspected by Camille DunnDate: 4/30/11

Those items indicated with an asterisk (*) and bold type are required to be visually inspected before concealment.

Integrity Building Systems, Inc.
Modular Plant #1
Quality Assurance Checklist

Model: CST Two Story Serial No: 1991 G

Start Date: 6/24/11

PA Labeled Units:

All plans pertaining to this home contain the required statement regarding certification that this home is not a HUD Code Manufactured Home, but rather a modular home constructed in conformance with the applicable codes of the Commonwealth of Pennsylvania.

Approved By: N/A

Date: JUN 21 2011

Station #1 ABCDE - Floors, plumbing

Task Description

Inspected

Infraction

1. Triple edge joists at mating wall--#2 or better	<u>COD</u>	
2. Double edge joists on exterior side wall--#3 or better	<u>COD</u>	
*3. Edge joist fastened to transverse joists with--	<u>COD</u>	
(5)-16d nails on 2x10's		
(4)-16d nails on 2x8's		
(4)-16d nails edge to edge		
4. 2x4 bridging on OJ2000 floor joist	<u>COD</u>	
5. Proper hanger support and installation	<u>COD</u>	
(per manu. installation instructions)		
6. 19/32 or 23/32 OSB or plywood decking	<u>COD</u>	
installed with 6d ring shank nails--		
10"oc Field and 6"oc Edges		
7. 19/32 or 23/32 OSB or plywood decking end	<u>COD</u>	
joints properly gapped 1/16"		
*8. Stairwell properly framed	<u>COD</u>	
*9. Copper water lines run for HWBB	<u>N/A</u>	
10. Anti Scald faucet on deck mount tubs (NJ)	<u>N/A</u>	
11. PEX Plumbing Fastening	<u>COD</u>	
*12. Copper tubing, PVC runs properly installed ,	<u>COD</u>	
supported with proper slope on DWV		
*13. Insulation installed properly under floor area,	<u>COD</u>	
netting installed and secured to framing		
*14. Frame tub/shower drain area for infield	<u>N/A</u>	
firestopping		
15. Vertical support fasteners every 60" (piping)	<u>COD</u>	
16. Horizontal support fasteners every 32" (piping)	<u>COD</u>	
14. Trap(s) strapped at tub(s) first floor only	<u>N/A</u>	
15. Access panels cut in for vent lines and hot	<u>N/A</u>	
water connections on 2 story units		
16. Vinyl floor covering per order	<u>N/A</u>	
17. Tub/shower fixtures and color per order	<u>N/A</u>	
18. Registers (floor or wall) and returns per print	<u>N/A</u>	
19. Solid block bridging to joist each bay--	<u>COD</u>	
(3)-.131x3" nails per end		
20. Prep for 2 nd floor dryer vent	<u>N/A</u>	
21. Temporary steel floor brace (at box offset)	<u>N/A</u>	
22. Plumbing tree test 105PSI for 30 minutes min.		
(125 PSI for State of MA)		

Sign-off on Testing Report Page

Comments: _____

Inspected by: Curtis D. Brown

Date: 6/24/11

**Those items indicated with an asterisk (*) and bold type are required to be visually inspected before concealment.

APPROVED BY
FEB 02 2010

NIA INC
MICHAEL A. FALLER



Robert F. McDonnell
Governor

James S. Cheng
Secretary of
Commerce and Trade

COMMONWEALTH of VIRGINIA

DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT

William C. Shelton
Director

November 19, 2012

Mr. Richard R. Rowe Jr.
Milton Home Systems, Inc.
2435 Housels Run Road
Milton, PA 17847

RE: Consumer complaint – Milari Madison vs Integrity Building Systems, Inc.
Industrialized Building Serial #01-0611 A thru I

Dear Mr. Rowe,

The Virginia State Building Codes Office has been designated by the Department of Housing and Community Development to enforce the Virginia Industrialized Building Safety Regulations and acts as the building official for Virginia registered industrialized buildings.

This office received a complaint from the above referenced consumer regarding potential building code violations that may have been introduced into her home during construction by Integrity Building Systems, Inc.

The above referenced home located at 40153 Janney street, Waterford, VA was constructed by Integrity Building Systems, Inc. on July 14, 2011, (see attached data plate).

Correspondence from the law firm Rudnitsky & Hackman, L.L.P. dated February 10, 2012, states that Milton Home Systems, Inc. is "successor by name change to Integrity Building Systems, Inc." Information from the Pennsylvania Department of State confirms that Integrity Building Systems, Inc. was incorporated on April 22, 1999, and filed Articles of Amendment on November 16, 2011, changing its name to Milton Home Systems, Inc. effective November 17, 2011.

A site inspection of the home constructed by Integrity Building Systems, Inc., now known as Milton Home Systems, Inc., was conducted by this office on April 9, 2012 and the following violations to the 2009 edition of the Virginia Residential Code (VRC) were observed:

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www.dhcd.virginia.gov

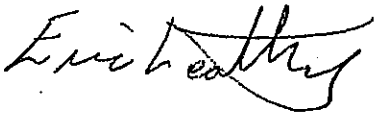
- Section R311.7.2 of the VRC requires that the minimum headroom in all parts of the stairway shall not be less than 6 feet 8 inches. It was observed that the headroom in the stairway leading from the first floor to the second floor was 6 feet 4 inches measured vertically from the sloped line adjoining the tread to the stairway header. Additionally, the headroom in the stairway from the second floor to the third floor/attic was approximately 4 feet measured vertically from the tread to the stairway header.

It is my understanding from discussions with Mr. Christopher Thompson, Loudoun County Building Department, that the stairway from the second floor to the third floor/attic has been removed and that a code complying stairway is in the process of being installed.

Please investigate this complaint to determine the source of the problem and report your findings and plan of corrective action to this office within 20 days.

I can be reached at 804-371-7165 if you have any questions regarding this matter.

Sincerely,



Eric Leatherby
Sr. Construction Inspector II

cc: Milari Madison
Christopher Thompson

INTEGRITY BUILDING SYSTEMS, INC.
2495 HOUSEL RUN ROAD
MILTON, PA 17847

VIRGINIA MODULAR DATA SHEET

Modular Home Model C-484709-2

Slate Label No.(s) VA 2011-0695 thru

VA 2011-0703

Modular Home Serial # 01-0611-1991A thru I

Date of Manufacture 7/14/2011

NTA, Inc. Label No.(s) P2-336766 thru 336774

Slate label location as noted on approved plans.

ELECTRICAL

Concealed Wiring Consists of Nonmetallic Sheathed Cable or Service Entrance Cable
Service panel: 200 amp; 120/240 V, single phase, 3 wire, 60 hertz /c

FACTORY INSTALLED APPLIANCES:

MANUFACTURER

MODEL

Hot Water Baseboard

n/a

Fireplace

Heatilator

EL42

Ranger

n/a

Water Heater

n/a

Dishwasher

n/a

Disposal

n/a

Microwave

n/a

Refrigerator

n/a

Ventless Fireplace

Monessen

GUF36 R

DESIGN CONDITIONS

Building Area 3,799 SQ FT
Roof Live Load 30 PSF
Roof Dead Load 10 PSF
Use Group R5
Construction Type VB
Ground Snow Load 30 PSF

Distance to Lot Line n/a FT (Min)
Wind Zone / Exp. Cat 90C MPH
Seismic Zone B
Building Height 2 STORY
Floor Live Load 40/30 PSF
Floor Dead Load 10 PSF

CODE COMPLIANCE - This unit is constructed in accordance with the following Virginia State codes.

1. ICC International Building Code 2009 Edition
 2. ICC International Plumbing Code 2009 Edition
 3. ICC International Mechanical Code 2009 Edition
 4. NFPA70 National Electrical Code 2008 Edition
 5. ICC International Residential Code 2009 Edition
 6. ICC International Energy Conservation Code 2009 Edition
- Partial installation of sprinkler system at manufacturing facility with completion onsite by others.
Complete sprinkler system installed onsite by others.

HEATING

Design Temperature:

Indoor: 70 degrees F

Outdoor: 10 degrees F

Thermal Transmittance Values:

onsite	Uo*	R-Values
	Uo* Floor	19 Floor
0.055	Uo* Wall	19 Wall
0.033	Uo* Roof	30 Roof

ITEMS SUBJECT TO LOCAL INSPECTION

A. ELECTRICAL

1. Interconnection between modules.
2. Service entrance and grounding electrode conductors.
3. Fire warning equipment is to be installed and tested for proper operation - see equipment instructions.

B. PLUMBING

1. All piping below first floor.
2. Witness leakage test of gas, DWV and water supply systems.
3. Connection to gas, sewer and water utilities.
4. Sprinkler system when required by local jurisdictions.

C. HEATING

1. Complete forced air system.

D. STRUCTURAL

1. The design and construction of the foundation system.
2. Completion of exterior siding at end walls.
3. Installation of gable or ridge vents.
4. Floor insulation installation.
5. Connection of floor system (see installation instructions).
6. Connection of roof system (see installation instructions).
7. Connection of modules to foundation (see installation instructions).

**DOCUMENTS SUBMITTED BY
STATE BUILDING CODES OFFICE**

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ADDITIONAL DOCUMENTS SUBMITTED BY
STATE BUILDING CODES OFFICE



Robert F. McDonnell
Governor

James S. Cheng
Secretary of
Commerce and Trade

COMMONWEALTH of VIRGINIA

William C. Shelton
Director

DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT

Milari Madison Modular Home Complaint

40153 Janney Street
Waterford, VA 20197
540-882-3160

Chronology of Events

1. **March 29, 2011:** Loudoun County Department of Building and Development issues a building permit to Ms. Milari Madison for a residential single family home at 40153 Janney Street, Waterford, VA 20197.
2. **April 3 & 4, 2011:** E-mails between Ms. Madison and Martin Sickle, Integrity Homes, regarding foundation and basement.
3. **April 3 thru April 13, 2011:** E-mails between Ms. Madison and Martin Sickle regarding sun room, foundation and HVAC.
4. **May 4, 2011:** Ms. Madison signs a performance agreement with Integrity Building Systems, Inc. for a modular home to be constructed by Integrity. The agreement specifies the "Customer has ordered a modular building through Integrity's distributor, Convenient Installations".
5. **May 5, 2011:** Ms. Madison signs a contract "for the sale, delivery, and set of a two story modular home" with Convenient Installations.
6. **June 7 thru June 21, 2011:** E-mails between Ms. Madison, Martin Sickle and Glenn Rowan, Dominion Power, regarding 400 amp electric, plumbing, roof and attic.
7. **June 23, 2011:** Loudoun County issues an electrical permit to Ms. Madison.
8. **July 11 thru July 14, 2011:** E-mails between Ms. Madison and Martin Sickle regarding chimney.

Partners for Better Communities



www.dhcd.virginia.gov

9. **July 14 thru July 17, 2011:** E-mails between Ms. Madison and Martin Sickle regarding basement and attic stairs.
10. **July 14, 2011:** Home is manufactured by Integrity Building Systems, Inc., Milton, PA. Serial #01-0611A thru I. Virginia certification seals #2011-0695 thru 2011-0703. Compliance Assurance Agency: NTA Inc., Nappanee, IN. (see data plate and partial set of approved plans).
11. **July 20, 2011:** Date home set (per 4/9/12 e-mail from Ms. Madison to Cindy Davis, DHCD).
12. **September 2, 2011 thru May 27, 2012:** E-mails between Ms. Madison and Pat O'Toole, designer, regarding spiral stairs.
13. **September 2, 2011:** Integrity letter to Ms. Madison regarding corrections to be made to house.
14. **September 12 thru October 3, 2011:** Electrical work performed by site contractor, Billy's Electrical Service, Inc.
15. **October 21, 2011:** Letter from Integrity Building Systems Inc. informing DHCD that they are going out of business and are selling their business assets, equipment and the rights to the Integrity Building Systems name to Icon Legacy Custom Modular Homes.

Note: Icon Legacy acquired eleven contracts to build modular homes from Integrity and purchased the right to use the name Integrity Building Systems, LLC to build those homes (see item #23, February 10, 2012 letter from the legal firm McNees Wallace & Nurick LLC which represents Integrity Building Systems, LLC).
16. **November 2 thru December 8, 2011:** E-mails between Ms. Madison, John Berry, contractor, and Dave Tompos, NTA, regarding attic stairs and other problems.
17. **December 8 & 9, 2011:** Ms. Madison contacts Larry Brock & Eric Leatherby, DHCD, requesting that a correction letter be sent to Icon Legacy (the company that acquired assets from Integrity).
18. **December 12 & 15, 2011:** Dan Stimely, CEO Icon Legacy Custom Modular Homes, sends e-mails to Ms. Madison and Eric Leatherby advising that the asset acquisition from Integrity did not involve Ms. Madisons' home and that Icon Legacy cannot help resolve her issues.
19. **December 15, 2011:** Ms. Madison files a complaint against Integrity Building Systems, Inc. with DHCD.
20. **December 16, 2011:** Ms. Madison files a complaint against NTA with Department of Professional and Occupational Regulation.

21. **December 29, 2011:** DHCD sends letter to Ms. Madison closing her case because Integrity is no longer in business.
22. **January 19 thru March 14, 2012:** Letters from attorneys regarding the name change of Integrity Building Systems, Inc. to Milton Home Systems, Inc.
23. **February 17 thru February 28, 2012:** E-mails between Ms. Madison, Ken Potter, attorney representing Milton Homes, Chris Thompson, Loudoun County Building Department, and Eric Leatherby, regarding settlement discussions, site visit and building code violations.
24. **March 29, 2012:** Letter from Emory Rodgers, DHCD, to Ms. Madison explaining why DHCD is unable to assist her with her complaint against Integrity.
25. **April 9, 2012:** Site inspection of Ms. Madison's home by Eric Tompos, NTA; Ken Potter, Chris Thompson, Cindy Davis and Eric Leatherby and Ms. Madison.
26. **April 11, 2012:** E-mails between Ms. Madison to Emory Rodgers and Cindy Davis regarding Loudoun County approval of proposed stairs.
27. **May 8, 2012:** Letter from Eric Leatherby to Ken Potter, enquiring if Milton Homes were going to take any actions to remedy building code violations caused to Ms. Madisons' home by Integrity.
28. **May 9, 2012:** Letter to Eric Tompos from Eric Leatherby requesting the inspection report prepared by Mr. Tompos from his April 9, 2012 inspection of Ms. Madison's home.
29. **May 18, 2012:** Voice mail from Mr. Tompos stating that his client, Ken Potter/Milton Homes would not authorize the release of the report until a resolution was reached with Ms. Madison.
30. **May 30, 2012:** Letter from Ken Potter to Eric Leatherby advising that Milton Homes had made a monetary settlement offer to Ms. Madison.
31. **August 13, 2012:** Phone conversation between Eric Leatherby and Chris Thompson. Mr. Thompson said that stairway to the third floor of Ms. Madison's home was being constructed and that he had performed an initial rough inspection.
32. **August 20, 2012:** Letter from Cindy Davis to Ms. Madison advising her that her complaint file was being closed.
33. **September 3 & 4, 2012:** E-mails between Ms. Madison and Chris Thompson regarding spiral stairway.
34. **September 5, 2012:** Ms. Madison submits an "Application for Administrative Appeal" to the State Technical Review Board against the State Building Codes Office.

35. **September 14, 2012:** Letter from Eric Leatherby to Ms. Madison certifying that the February 28, 2012 e-mail from Chris Thompson is an accurate copy.



County Of Loudoun
Department of Building and Development
1 Harrison St., S.E., P.O. Box 7000
Leesburg, Virginia 20177
(703) 777-0220



Automated Inspection Request (703) 771-5331
Web Inspection Request www.loudoun.gov/b&d/wairs
The permit holder is responsible for inspections and for assuming that the final approvals are received prior to use of building structure.

All residential permits will be revoked three (3) years from date of issuance.
Permits may be revoked if work is abandoned for a period of six (6) months.
New permits will be required to complete any work remaining on revoked permits.
When required, residential per unit cash proffers must be paid by cashier's check after all inspections have been finalized. Once received, two business days are required for processing prior to issuance of the occupancy permit.

BUILDING/ZONING PERMIT # B00156190100

Permit Issue Date :	2011-03-29	Building Permit # :	B00156190100
Applicant Name :	MADISON, MILARI	Structure Type :	RESIDENTIAL SGL FMLY DETACHED
Owner name :	MADISON, MILARI	Construction Purpose :	NEW CONSTRUCTION
Property Address :	40153 JANNEY ST WATERFORD VA 20197	Permit Purpose :	SFD
Bldg/ Floor/ Unit :		Pin Number :	304464671000
Section/ Lot :	LOT 5	Tax Map Number :	/28/A/1/H/1/5/
Subdivision :	TOWN OF WATERFORD	Contractor :	OWNER
Mechanics' Lien Agent :	NONE DESIGNATED	Related Permits :	EP GF MP OP PP XP
		Mech Lien Agent Ph # :	

Mech Lien Agent Addr :

Permit Comments

Permittee must be compliant with CAPP (2010-0002) as approved by the Board of Supervisors on March 15, 2011.
Zoning has no objection to the issuance of a temporary occupancy permit for this property. However, Permittee must meet all conditions of CAPP 2010-0002 as approved by the BOS on March 15, 2011 prior to receiving full occupancy for the home. 10/5/11 TKF
Permittee must also be compliant with CAPP (2010-0002) as approved by the BOS on March 15, 2011, Health Department Conditions as outlined in the letter dated August 17, 2010, local ordinances and other applicable state laws and regulations.

Detail Information

TYPE OF SEWERAGE SYSTEM	PRIVATE
TYPE OF WATER SYSTEM	PRIVATE
TYPE OF BASEMENT	UNFINISHED
NUMBER OF BEDROOMS	3
NUMBER OF FULL BATHROOMS	3
ESTIMATED CONSTRUCTION COST	270000.00
ESTIMATED PROJECT COST	290000.00
PLANS REVIEW CHARGED (Y/N)	Y
USBC EDITION	2006
LIVING AREA 1 SQUARE FEET	3382
BLDG USE GROUP	R5
BLDG CONSTRUCTION TYPE	5B
BASEMENT SQUARE FEET	1723
MISCELLANEOUS UNFINISHED SQ FT	255
OCCUPANCY LOAD	5
SPECIAL CONDITIONS/MODS? (Y/N)	N
ZONING ORDINANCE	93
NUMBER OF ZONING DISTRICTS	1
ZONING DISTRICT- # 1	CR2
ZONING ACREAGE	.23
ZONING PURPOSE	SFDU
NBR OF RELATED APPLICATIONS	1
RELATED APPLICATIONS NBR- # 1	CAPP-2010-0002
PROFFERS/CONDITIONS?	Y
ADU (YES/NO)	N
LOT TYPE	REGULAR
SPECIAL SETBACK REQMTS (Y/N)	Y
SETBACK1 (FRONT) REQUIRED	25.00
SETBACK2 (REAR/FRONT) REQD	25.00
SETBACK3 (SIDE1) REQUIRED	9.00
SETBACK4 (SIDE2) REQUIRED	9.00
SETBACK1 (FRONT) ACTUAL	8
SETBACK3 (SIDE 1) ACTUAL	9

Fee Calculations

Description	Units	Rate	Total
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LIVING AREA SQUARE F	3382.00	100.9500	\$341412.90
BASEMENT UNFINISHED	1723.00	38.6600	\$66611.18
MISC UNFINISHED SQFT	255.00	38.6600	\$9858.30
TOTAL GROSS AREA SQF	0.00	0.0000	\$417882.38
GROSS AREA MODIFIER	417882.38	1.0000	\$417882.38
PERMIT MULTIPLIER FE	417882.38	0.0053	\$2214.77
RESIDENTIAL PLANS RE	0.00	0.0000	\$60.00
PERMIT OCCUPANCY - Z	0.00	0.0000	\$80.00
PERMIT OCCUPANCY	0.00	0.0000	\$70.00
PERMIT ZONING FEE	0.00	0.0000	\$165.00
PERMIT TOTAL FEE	0.00	0.0000	\$2589.77

Official Copy

Leatherby, Eric (DHCD)

From: Hunter Madison [huntermadison2002@yahoo.com]
Sent: Monday, April 09, 2012 6:19 PM
To: Leatherby, Eric (DHCD); Davis, Cindy (DHCD)
Subject: Fw: RE: Foundation issues for Dick
Attachments: C484709-2-1stElec (4-4-11).pdf; C484709-2-1stFl (4-4-11).pdf; C484709-2-2ndElec (4-4-11).pdf; C484709-2-2ndFl (4-4-11).pdf

----- Forwarded Message -----

From: Hunter Madison <huntermadison2002@yahoo.com>
To: acwhiz1@gmail.com
Sent: Monday, April 4, 2011 4:56 PM
Subject: Fw: RE: Foundation issues for Dick

I also want to have a 15 foot x 43 foot finished third floor space.

Thank you.

Milari 540-882-3160

--- On Mon, 4/4/11, Martin Sickle <MartyS@integritybuild.com> wrote:

From: Martin Sickle <MartyS@integritybuild.com>
Subject: RE: Foundation issues for Dick
To: "Hunter Madison" <huntermadison2002@yahoo.com>
Date: Monday, April 4, 2011, 8:44 AM

Malari,

Attached are the latest revisions to the plan. Could you please review them and then let me know if any other changes need to be made. If final changes have been made we can start with the beam calculations in the basement.

Martin Sickle

V.P. Sales & Marketing

Integrity Building Systems, Inc.

2435 Housels Run Road

Milton, PA 17847

Phone (800) 553-4402 Ext. 3629

Cell Phone (570) 274-3031

Fax: (570) 522-0089

msickle@integritybuild.com

www.integritybuild.com

Success is not what you get; it is what you become

From: Hunter Madison [mailto:huntermadison2002@yahoo.com]
Sent: Mon 4/4/2011 6:52 AM
To: Martin Sickle
Cc: jlancelotta@weaverprecast.com
Subject: Foundation issues for Dick

Marty,

We need to make sure that the plan takes into account the portions of the house that do not have brick. It would seem to me that the house would have to hang over the foundation more to make the transition as minimal as possible (smooth from stone to Hardiplank). In those areas the house would need to hang over 6".

I want to reduce the cost wherever it makes sense. I will not finish the basement but can see the west wing and under the sun room as eventually being walled off so any lally columns can be placed there. I am sure the lally columns are cheaper than steel or foundation wall.

The brick ledge will be 6".

According to Jack's most recent drawing, I am trying to get rid of the lally columns.

Leave two lally columns encasing the stairs.

Leave any lally columns supporting the west wing bump out (the exterior wall of the main block).

Remove the wall from the main block to the west wing.

The crawl space can be a full basement with lally columns replacing the wall.

The west wing will be used for utilities and can have a lower ceiling (the floor does not need to step down)

No foundation walls to support front stoop/slab.

Basement egress will have a 36" wide door and a bilco exit (stairs).

Width of basement windows will be 36".

--- On Sun, 4/3/11, Jack Lancelotta <jlancelotta@weaverprecast.com> wrote:

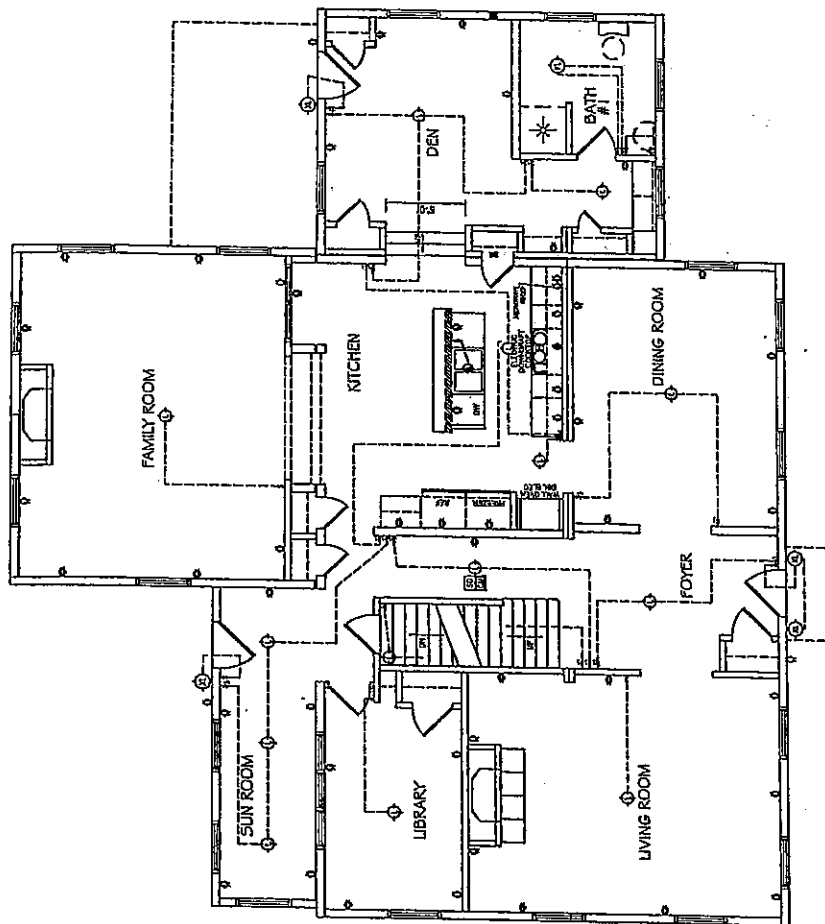
From: Jack Lancelotta <jlancelotta@weaverprecast.com>

Subject: Re: Hopefully, last few questions

To: "Hunter Madison" <huntermadison2002@yahoo.com>

Date: Sunday, April 3, 2011, 5:19 PM

This is my latest version based on the last info I received from Marty



- LEGEND**
- ① AIR CONDITIONER
 - ② CLOSET
 - ③ CLOSET
 - ④ 3-WAY SWITCH
 - ⑤ 4-WAY SWITCH
 - ⑥ THERMOSTAT
 - ⑦ ZENITH LIGHT
 - ⑧ CO. HALL
 - ⑨ SMOKE DETECTOR
 - ⑩ CIG. LIGHT
 - ⑪ ATT. JAMB
 - ⑫ PLUMB
 - ⑬ HIDE-A-CUE
 - ⑭ JACKSON BOX
 - ⑮ TELEPHONE
 - ⑯ RECESSED LIGHT

HAVING SYSTEM FOR THIS HOME IS TO BE SUPPLIED
BY THE CUSTOMER BY OTHERS

TYPICAL PANEL BOX SCHEDULE (200 AMP)

UNIT	DESCRIPTION	AMPS	PHASE	DESCRIPTION	AMPS	PHASE
1	KITCHEN GFCI	20	AMP	12-2	2	GEN. LIGHT
2	KITCHEN GFCI	20	AMP	12-2	4	GEN. LIGHT
3	KITCHEN GFCI	20	AMP	12-2	6	GEN. LIGHT
4	WASHER GFCI	20	AMP	12-2	8	GEN. LIGHT
5	BATH GFCI (150)	20	AMP	12-2	10	GEN. LIGHT
6	BATH GFCI	15	AMP	12-2	12	ORDER
7	ELEC. RANGE	40	AMP	6-3	14	DEN / FAN RM
8	DINING ROOM	20	AMP	12-2	16	EXT. GFCI
9	MICROWAVE	20	AMP	12-2	18	DISHWASHER
10	REFRIG.	20	AMP	12-2	20	GAZ. DISP.
11	WHIRLPOOL GFCI	20	AMP	12-2	22	WATER HEATER
12	SMOKE DET.	15	AMP	14-2	24	ELEC. HEAT
13	FURNACE	20	AMP	12-2	26	ELEC. HEAT
14	ELEC. HEAT	20	AMP	12-2	28	ELEC. HEAT
15	ELEC. HEAT	20	AMP	12-2	30	ELEC. HEAT
16	ELEC. HEAT	20	AMP	12-2	32	ELEC. HEAT
17	ELEC. HEAT	20	AMP	12-2	34	ELEC. HEAT
18	ELEC. HEAT	20	AMP	12-2	36	ELEC. HEAT
19	ELEC. HEAT	20	AMP	12-2	38	ELEC. HEAT
20	ELEC. HEAT	20	AMP	12-2	40	ELEC. HEAT

legality Building Systems, Inc.

DEALER: CONVENIENT INSTALLATION
CUSTOMER: MADISON

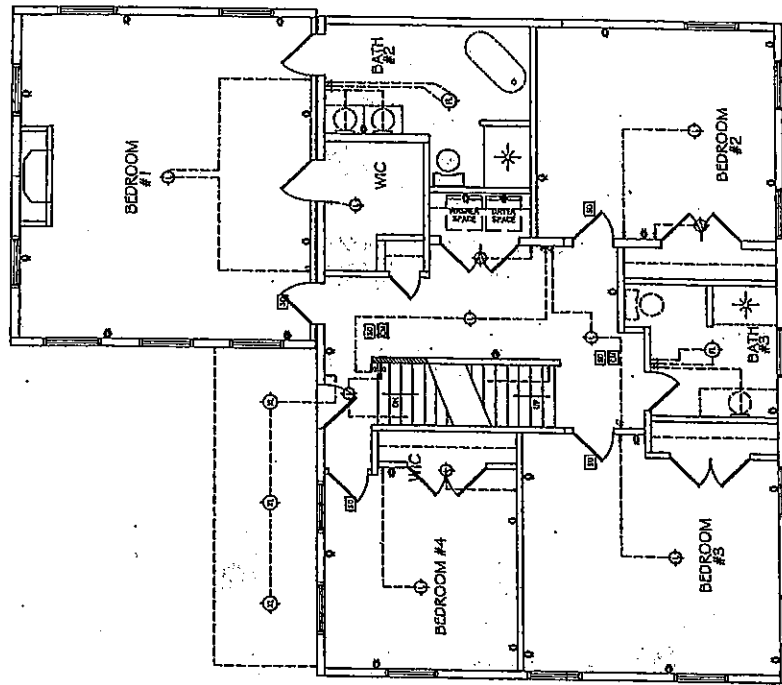
DATE: 5/24/10
DRAWN BY: CDK

MODEL: CUSTOM 2-STORY
Scale: 1/8" = 1'-0"

CONTROL NUMBER
C-484709-2

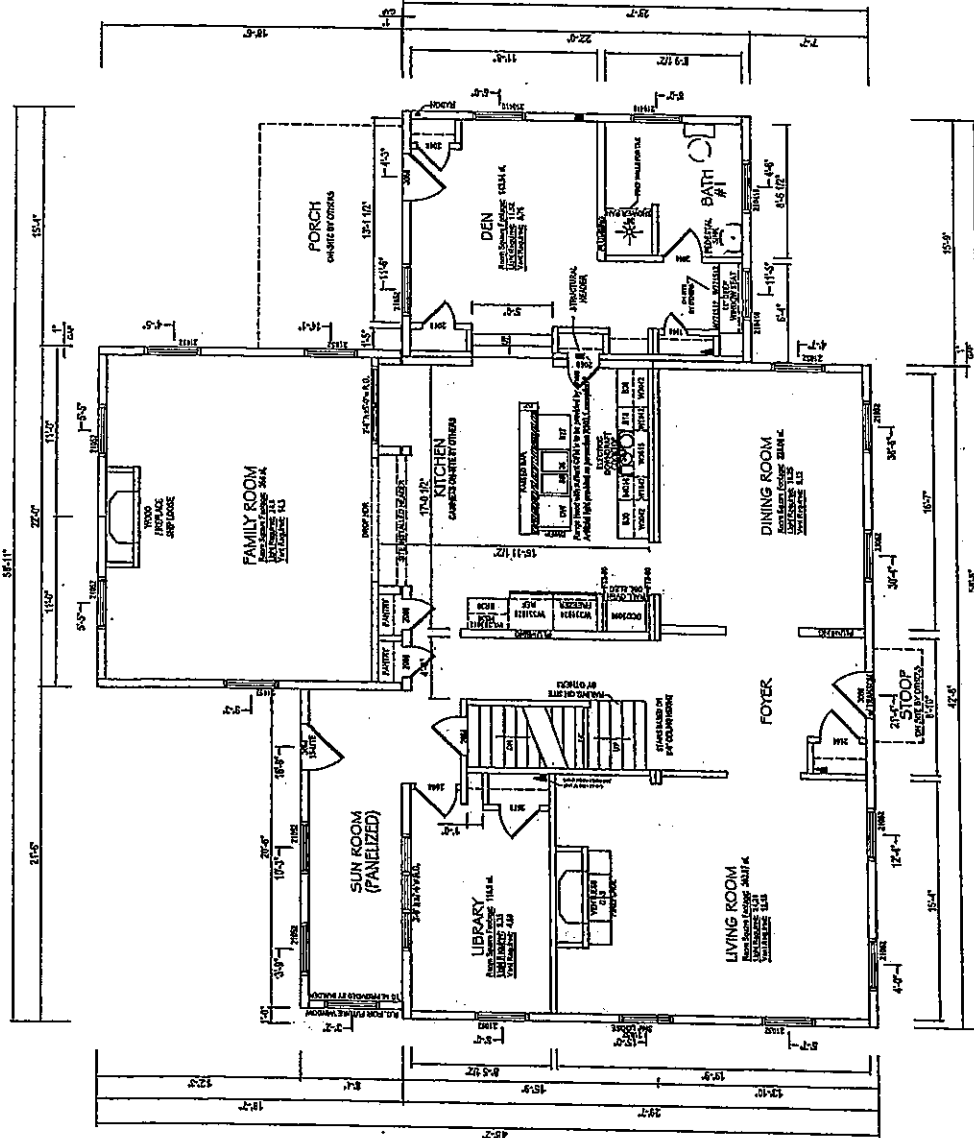
SUB-SET
E1

Rev	Desc	Date
1	Initial Design	5/24/10
2	Revised Design	5/24/10
3	Final Design	5/24/10
4	As-Built	5/24/10
5	As-Built	5/24/10
6	As-Built	5/24/10
7	As-Built	5/24/10
8	As-Built	5/24/10
9	As-Built	5/24/10
10	As-Built	5/24/10
11	As-Built	5/24/10
12	As-Built	5/24/10
13	As-Built	5/24/10
14	As-Built	5/24/10
15	As-Built	5/24/10
16	As-Built	5/24/10
17	As-Built	5/24/10
18	As-Built	5/24/10
19	As-Built	5/24/10
20	As-Built	5/24/10



REV	DATE	BY	DESCRIPTION	DATE	BY
1	5/24/10	CDK	Initial Design	5/24/10	CDK
2	5/24/10	CDK	Revised Design	5/24/10	CDK
3	5/24/10	CDK	Final Design	5/24/10	CDK
4	5/24/10	CDK	Revised Design	5/24/10	CDK
5	5/24/10	CDK	Final Design	5/24/10	CDK
6	5/24/10	CDK	Revised Design	5/24/10	CDK
7	5/24/10	CDK	Final Design	5/24/10	CDK
8	5/24/10	CDK	Revised Design	5/24/10	CDK
9	5/24/10	CDK	Final Design	5/24/10	CDK
10	5/24/10	CDK	Revised Design	5/24/10	CDK
11	5/24/10	CDK	Final Design	5/24/10	CDK
12	5/24/10	CDK	Revised Design	5/24/10	CDK
13	5/24/10	CDK	Final Design	5/24/10	CDK
14	5/24/10	CDK	Revised Design	5/24/10	CDK
15	5/24/10	CDK	Final Design	5/24/10	CDK

Integrity Building Systems, Inc. DEALER: CONVENIENT INSTALLATION CUSTOMER: MADISON	DATE: 5/24/10 DRAWN BY: CDK	MODEL: CUSTOM 2-STORY Scale: 1/8" = 1'-0"	CONTROL NUMBER C-484709-2	SUB-SET E2
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ASTATE MODULAR LABEL
 PRINT LABEL
 DATA PLATE

NOTE: ALL SPANS WILL REQUIRE REVIEW BY ENGINEER

RATING: 25 MAX

Integrity Building Systems, Inc.

DEALER: CONVENIENT INSTALLATION
 CUSTOMER: MADISON

DATE: 5/24/10

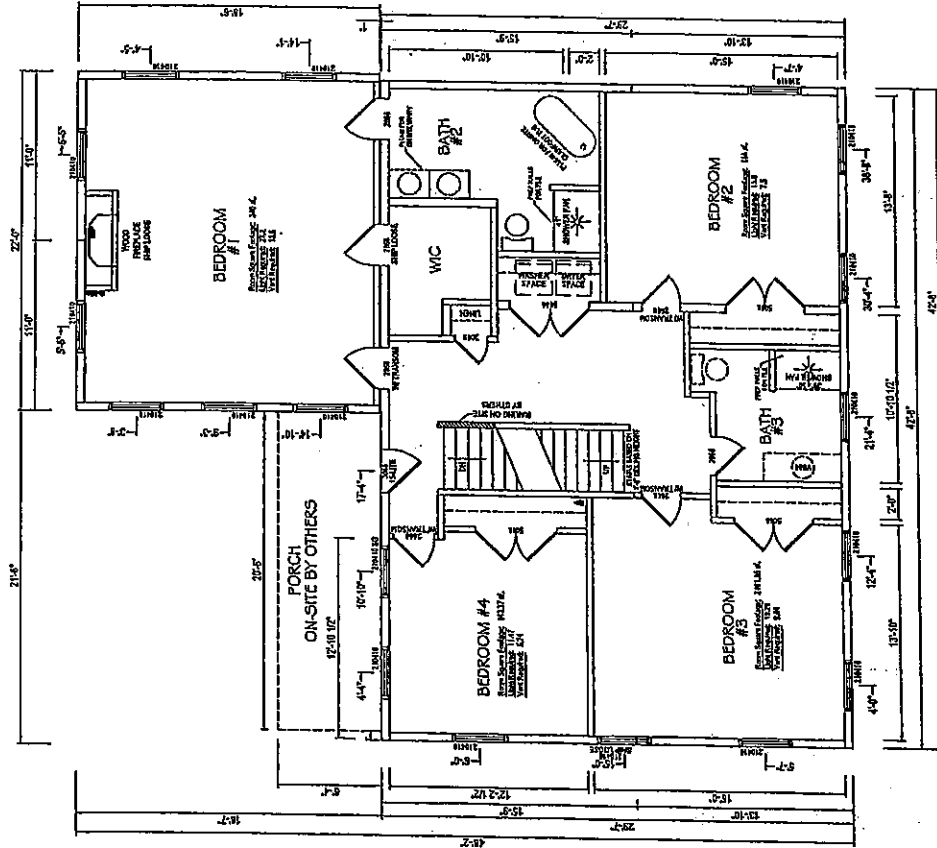
DRAWN BY: CDK

MODEL: CUSTOM 2-STORY
 Scale: 1/8" = 1'-0"

CONTROL NUMBER
 C-484709-2

SUB-SET
 A1

Rev	Qty	Description	Qty
1	1	ASTATE MODULAR LABEL	1
2	1	PRINT LABEL	1
3	1	DATA PLATE	1
4	1	ASTATE MODULAR LABEL	1
5	1	PRINT LABEL	1
6	1	DATA PLATE	1
7	1	ASTATE MODULAR LABEL	1
8	1	PRINT LABEL	1
9	1	DATA PLATE	1
10	1	ASTATE MODULAR LABEL	1
11	1	PRINT LABEL	1
12	1	DATA PLATE	1
13	1	ASTATE MODULAR LABEL	1
14	1	PRINT LABEL	1
15	1	DATA PLATE	1
16	1	ASTATE MODULAR LABEL	1
17	1	PRINT LABEL	1
18	1	DATA PLATE	1
19	1	ASTATE MODULAR LABEL	1
20	1	PRINT LABEL	1
21	1	DATA PLATE	1
22	1	ASTATE MODULAR LABEL	1
23	1	PRINT LABEL	1
24	1	DATA PLATE	1
25	1	ASTATE MODULAR LABEL	1
26	1	PRINT LABEL	1
27	1	DATA PLATE	1
28	1	ASTATE MODULAR LABEL	1
29	1	PRINT LABEL	1
30	1	DATA PLATE	1



2nd FLOOR
8'-0" CEILING

Room No.	Description	Area
1	Bedroom #1	144.00
2	Bedroom #2	144.00
3	Bedroom #3	144.00
4	Bedroom #4	144.00
5	Bath #1	54.00
6	Bath #2	54.00
7	W.C.	18.00
8	Porch	144.00
9	Staircase	144.00
10	Hallway	144.00
11	Entry	144.00
12	Overall	1728.00

SUB-SET
A2

CONTROL NUMBER
C-484709-2

DATE: 5/24/10
MODEL: CUSTOM 2-STORY

DRAWN BY: CDK
Scale: 1/8" = 1'-0"

DEALER: CONVENIENT INSTALLATION
CUSTOMER: MADISON

itegrity Building Systems, Inc.

NOTE: ALL SPANS WILL REQUIRE REVIEW BY ENGINEER

Leatherby, Eric (DHCD)

From: Hunter Madison [huntermadison2002@yahoo.com]
Sent: Monday, April 09, 2012 6:55 PM
To: Leatherby, Eric (DHCD); Davis, Cindy (DHCD)
Subject: Fw: Shipping sun room, foundation

Around 4/10, the attic is discussed as they would know it was going to be finished space.

----- Forwarded Message -----

From: Hunter Madison <huntermadison2002@yahoo.com>
To: MartyS@integritybuild.com
Cc: darren123@frontier.com
Sent: Wednesday, April 13, 2011 3:37 PM
Subject: Fw: Shipping sun room, foundation

Marty,

I spoke with Darren about this but I am still concerned and confused. If I have to pull wires and finish out the sun room, it may run into problems for me. Can't you at least build and ship the 1st floor of the sun room? What will this cost?

You did shrink the plan to compensate for the brick/stone. The whole house is required to have the stone foundation and the finished area with the hardiplank is supposed to be generally flush/smooth, one plane.

Marty-

Question, if the sun room is not necessarily wide enough to ship on its own trailer, can't it be combined with the roof sections from the sun room (second floor) and the roof for the one story porch?

And how can it be priced out so I can compare if it would be cheaper to do it on site?

The family room wall comes passed the sun room.

Thanks. Milari

--- On Mon, 4/11/11, Martin Sickle <MartyS@integritybuild.com> wrote:

From: Martin Sickle <MartyS@integritybuild.com>
Subject: RE: HVAC - electric
To: "Hunter Madison" <huntermadison2002@yahoo.com>
Date: Monday, April 11, 2011, 7:33 AM

I'm hoping to get them in our hands this week!

Martin Sickle

V.P. Sales & Marketing
Integrity Building Systems, Inc.
2435 Housels Run Road
Milton, PA 17847
Phone (800) 553-4402 Ext. 3629
Cell Phone (570) 274-3031
Fax: (570) 522-0089

msickle@integritybuild.com
www.integritybuild.com

Success is not what you get; it is what you become

From: Hunter Madison [mailto:huntermadison2002@yahoo.com]
Sent: Mon 4/11/2011 7:20 AM
To: Martin Sickle
Subject: RE: HVAC - electric

Is he ready to get the foundation plan to Jack at Superior Walls and me?

Milari

--- On Mon, 4/11/11, Martin Sickle <MartyS@integritybuild.com> wrote:

From: Martin Sickle <MartyS@integritybuild.com>
Subject: RE: HVAC - electric
To: "Hunter Madison" <huntermadison2002@yahoo.com>
Date: Monday, April 11, 2011, 7:14 AM

Malari,

I am on the road today, I will get with Dick tomorrow to where we can put the chases.

Martin Sickle

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From: Hunter Madison [mailto:huntermadison2002@yahoo.com]
Sent: Sun 4/10/2011 7:26 AM
To: Martin Sickle
Subject: RE: HVAC - electric

Marty,

I want to have my super fan installed in the attic. If necessary, I will supply the fan but the ducts need to be added prior to closing off walls with insulated 8" duct, 4, r6 insulation. The ducts are illustrate in the PDF product manual as attached. I think the I should have one in the ceiling of the to be finished attic, one in the master bed, one in the second floor hallway, and one in bedroom 3.

As for the HVAC, I will end up with two zones. The one unit should be placed behind the attic knee wall to be finished to heat and cool the attic and second floor. Can your experts provide some ball park as to where the chase needs to be and any rough ducts? I am working diligently to move this along but as of now, have little

forward movement with the HVAC system.

Milari 540-882-3160

--- On Fri, 4/8/11, Martin Sickle <MartyS@integritybuild.com> wrote:

From: Martin Sickle <MartyS@integritybuild.com>
Subject: RE: HVAC
To: "Hunter Madison" <huntermadison2002@yahoo.com>
Date: Friday, April 8, 2011, 10:19 AM

Attached is the heat loss calculations you are looking for.

Martin Sickle

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Success is not what you get; it is what you become

From: Hunter Madison [mailto:huntermadison2002@yahoo.com]
Sent: Tue 4/5/2011 3:23 PM
To: Martin Sickle
Subject: HVAC

Marty,

I know you said you run the heating loss calculations once things are done. In order for the HVAC folks to give me an estimate, they want to know:

"For me to do a load calculation I need the full architectural plans that show elevations, insulation R values for walls, floors, and ceilings, window and door sizes, joist layouts, etc. I also need to know which way the house faces and if the windows are LoE or not. If you can forward those to me I will be able to work on them this weekend and get a proposal to you beginning of next week."

--- On Tue, 4/5/11, Martin Sickle <MartyS@integritybuild.com> wrote:

From: Martin Sickle <MartyS@integritybuild.com>
Subject: RE: Foundation issues for Dick
To: "Hunter Madison" <huntermadison2002@yahoo.com>
Date: Tuesday, April 5, 2011, 9:52 AM

Malari,

Are you looking for a fan in the attic to remove the heat from that area or are you looking for a ceiling fan to move heat from inside the house? I will get the latest changes made to the plan and send you a copy no later than tomorrow.

Martin Sickle

V.P. Sales & Marketing

Integrity Building Systems, Inc.

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Milton, PA 17847

Phone (800) 553-4402 Ext. 3629

Cell Phone (570) 274-3031

Fax: (570) 522-0089

msickle@integritybuild.com

www.integritybuild.com

Success is not what you get; it is what you become

From: Hunter Madison [mailto:huntermadison2002@yahoo.com]

Sent: Mon 4/4/2011 6:52 AM

To: Martin Sickle

Cc: jlancelotta@weaverprecast.com

Subject: Foundation issues for Dick

Marty,

We need to make sure that the plan takes into account the portions of the house that do not have brick. It would seem to me that the house would have to hang over the foundation more to make the transition as minimal as possible (smooth from stone to Hardiplank). In those areas the house would need to hang over 6".

I want to reduce the cost wherever it makes sense. I will not finish the basement but can see the west wing and under the sun room as eventually being walled off so any lally columns can be placed there. I am sure the lally columns are cheaper than steel or foundation wall.

The brick ledge will be 6".

According to Jack's most recent drawing, I am trying to get rid of the lally columns.

Leave two lally columns encasing the stairs.

Leave any lally columns supporting the west wing bump out (the exterior wall of the main block).

Remove the wall from the main block to the west wing.

The crawl space can be a full basement with lally columns replacing the wall.

The west wing will be used for utilities and can have a lower ceiling (the floor does not need to step down)

No foundation walls to support front stoop/slab.

Basement egress will have a 36" wide door and a bilco exit (stairs).

Width of basement windows will be 36".

--- On Sun, 4/3/11, Jack Lancelotta <jlancelotta@weaverprecast.com> wrote:

From: Jack Lancelotta <jlancelotta@weaverprecast.com>

Subject: Re: Hopefully, last few questions

To: "Hunter Madison" <huntermadison2002@yahoo.com>

Date: Sunday, April 3, 2011, 5:19 PM

This is my latest version based on the last info I received from Marty

PERFORMANCE AGREEMENT

This Performance Agreement ("Agreement") is made as of MAY 4, 2011, by and between Milari Madison (the "Customer") and Integrity Building Systems ("Integrity").

Background

Customer has ordered a modular building through Integrity's distributor, Convenient Installations, under CONTRACT FOR MODULAR # C-484709 attached hereto as Attachment A. Integrity is the builder of the modular units and wishes to stand behind and guarantee the performance under CONTRACT FOR MODULAR # C-484709 in order to provide the Customer assurances that modular units are manufactured, delivered and set on the foundation as provided in CONTRACT FOR MODULAR # C-484709.

Agreement

NOW THEREFORE, in consideration of the mutual promises and undertakings set forth herein, and for other good and valuable consideration, including the payments made to Convenient Installations under CONTRACT FOR MODULAR # C-484709, the receipt and sufficiency of which is hereby acknowledged, the parties agree as follows:

1. Should Convenient Installations fail to materially perform any of its obligations under CONTRACT FOR MODULAR # C-484709, upon the reasonable request of the Customer, Integrity shall perform without additional charge to Customer, those obligations, including but limited to delivering and setting on the foundation the modular units and panels.

2. **LAW AND VENUE.** This Agreement, and any and all claims arising under this Agreement, shall be governed by and construed in accordance with the laws of the Commonwealth of Virginia, without regard to its conflicts of law provisions. For the adjudication of any and all disputes no matter their nature arising under this Agreement, the parties hereby consent to personal jurisdiction and venue in the state and federal courts sitting in Northern Virginia, including but not limited to courts sitting in Loudoun County, Fairfax County and Alexandria, Virginia.

3. **COUNTERPARTS.** This Agreement may be signed in any number of counterparts with the same effect as if the signature on each such counterpart were upon the same instrument, and a facsimile transmission or electronic delivery (e.g., pdf) of a manual signature shall be deemed to be an original signature.

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed and delivered as of the date above.

Milari Madison

Integrity Building Systems

Milari Madison

By: Martin Sickle

..... Martin Sickle

By: Glenn Salsman

..... Glenn Salsman

CONTRACT FOR MODULAR # C-484709

This is a contract for the sale, delivery, and set of a two story modular home.

Contractor: Convenient Installations, Licensed and Insured
Barren McNutt
351 Thistle Ridge Ln. WV 040199
Ranson WV 25438

Customer: Milari Madison
39638 Rickard Road
Waterford, VA 20180

Installation address: 40153 Janney Street, Waterford, VA 20197

1. DESCRIPTION OF MODULAR COMPONENTS

Contractor agrees that the modular manufactured by Integrity Building Systems will consist of the following: refer to plans # C-484709 for the elevation, foundation, and house design and refer to the quote sheet for the pricing, base price, upgrades, and eliminations. Contractor is only responsible for the delivery and set of the units and customer is responsible for completion of modular after set.

2. PAYMENT

All payments are to be made by cashier's check or money wire to Convenient Installations. Buyer is responsible to pay 100% of total amount due to place the modular units into production. A \$4,500.00 prior payment has been subtracted from the total; making the final total \$254,349.00.

3. DELIVERY AND SET SCHEDULE

Modular units, the roof panels, panels, and items determined to loose ship per the plans shall be delivered within four to six weeks to 40153 Janney Street from the date of Customer's approval and/or receiving of the final prints and receipt of payment. Contractor is not responsible for the foundation or excavating. Contractor is responsible for the accurateness and completeness of the plans, C-484709, and for confirming that the foundation is sufficient for the house design. Contractor will provide all necessary equipment and resources to set all of the modular units and panels on the foundation and to fully tie the modular units to each other including the roof panels, and the panelized sunroom to the foundation in accordance with any applicable industry standards, code and the manufacturer's specifications, including but not limited to a crane and set crew to remove the units off of the transports and onto the foundation. After the units have been set upon the foundation the set crew will bolt the units together in the basement, will fasten the units to the sill plate, assemble any panelized roof sections, and the sunroom panels. Customer will provide Contractor with a backhoe or dozer if necessary with prior notice (24

hours) by Contractor. Contractor represents and warrants that he has analyzed the house site and location (40153 Janney Street, Waterford, Virginia 20197) and determined that the manufacturer will be able to deliver the modular units to the house site and that Contractor will be able to completely set and install the modular units and roof panels at the house site.

4. DELAY

If a reason beyond the control of the Contractor delays the house setting, Contractor will promptly inform the Customer. If a delay arises related to the Customer's responsibility, Customer will promptly notify the Contractor and an extension of delivery shall be provided for to adequately accommodate the delay.

If Contractor is unable to set the house by July 30, 2011, due to lack of performance, Customer may cancel this contract and receive a full refund of all payments made under the contract.

5. WARRANTIES AND LIMITATIONS

These modular units have a one year structural warranty from the date of delivery. Contractor will perform its obligations under this contract in a good and workmanlike manner and in accordance with best industry practices. THERE ARE NO OTHER WARRANTIES WHICH EXTEND BEYOND THE DESCRIPTION ON THE FACE OF THIS AGREEMENT.

6. GUARANTY OF PERFORMANCE

In the event Contractor fails to timely perform under this contract, upon notice to Contractor if applicable, Customer may have Contractor's obligations under this contract satisfied by Integrity Building Systems.

7. LAW AND VENUE

This Agreement, and any and all claims arising under this Agreement, shall be governed by and construed in accordance with the laws of the Commonwealth of Virginia, without regard to its conflicts of law provisions. For the adjudication of any and all disputes no matter their nature arising under this Agreement, the parties hereby consent to personal jurisdiction and venue in the state and federal courts sitting in Northern Virginia, including but not limited to courts sitting in Loudoun County, Fairfax County and Alexandria, Virginia.

8. CONFIDENTIAL INSTALLATION

Contractor agrees not to discuss or follow the instructions of any third parties or bystanders during the installation of the modular units. The Contractor understands that bystanders may attempt to disrupt and delay the installation and Contractor agrees not to engage in discussions with, and shall ignore those bystanders.

9. COUNTERPARTS

This Agreement may be signed in any number of counterparts with the same effect as if the signature on each such counterpart were upon the same instrument, and a facsimile

transmission or electronic delivery (e.g., pdf) of a manual signature shall be deemed to be an original signature.

10 ENTIRE AGREEMENT

I have read and agree to the following contract.

Unless agreed to by both parties in writing, if there are any changes made after the signing of this contract this contract is null and void and Customer is entitled to a full refund of amounts paid under this contract.

CONTRACTOR

Authorized Signature

Print Name and Title

Date

CUSTOMER

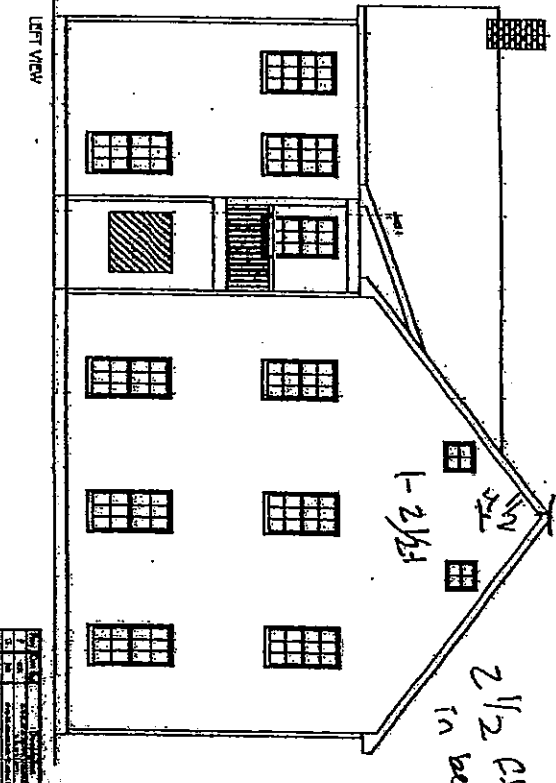
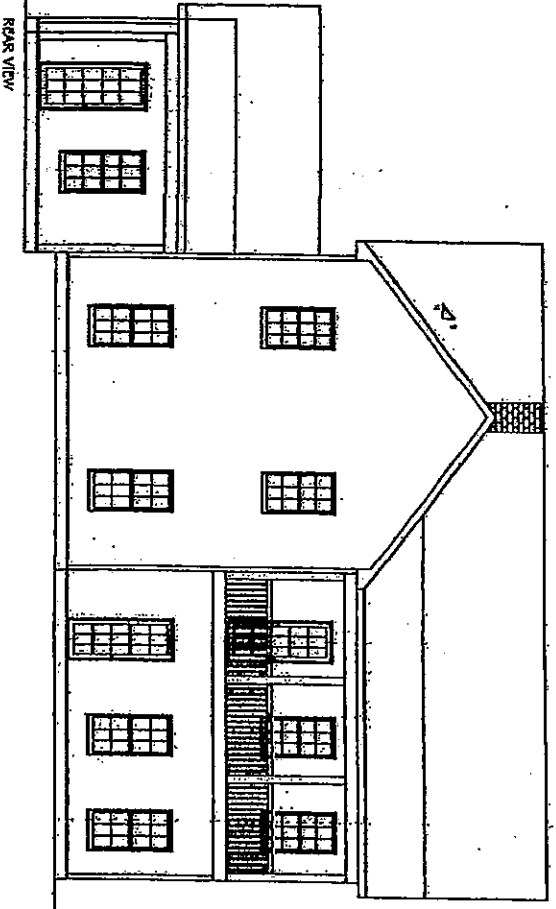
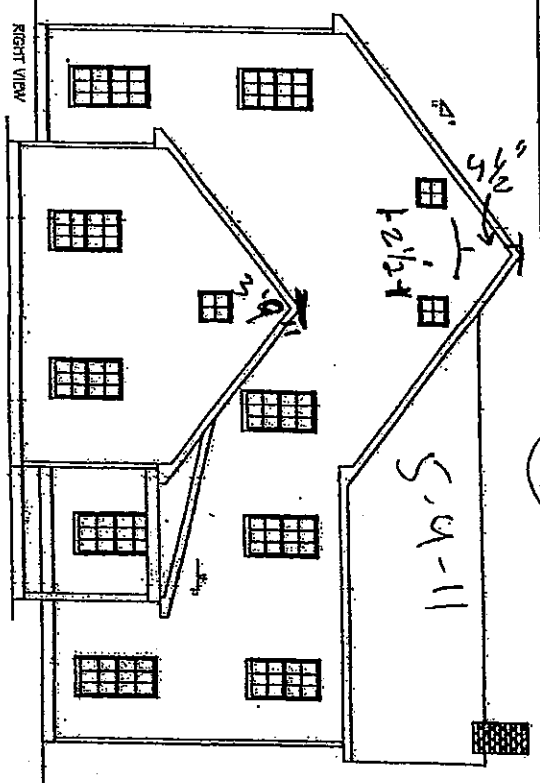
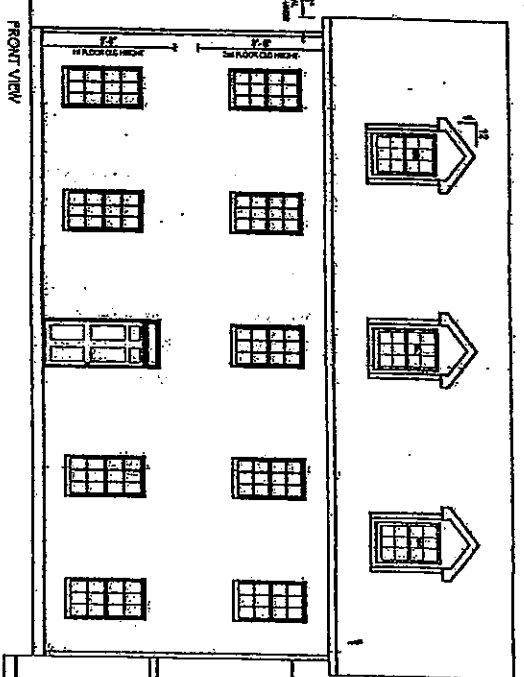
Authorized Signature

Print Name and Title

Date

Final

MM



OPTIONAL - REMOVABLE BRACKETS
STANDARD - ATTACHMENT

Integrity Building Systems, Inc.

DEALER: CONVENIENT INSTALLATION
CUSTOMER: MADISON

DATE: 5/24/10
DRAWN BY: CDK

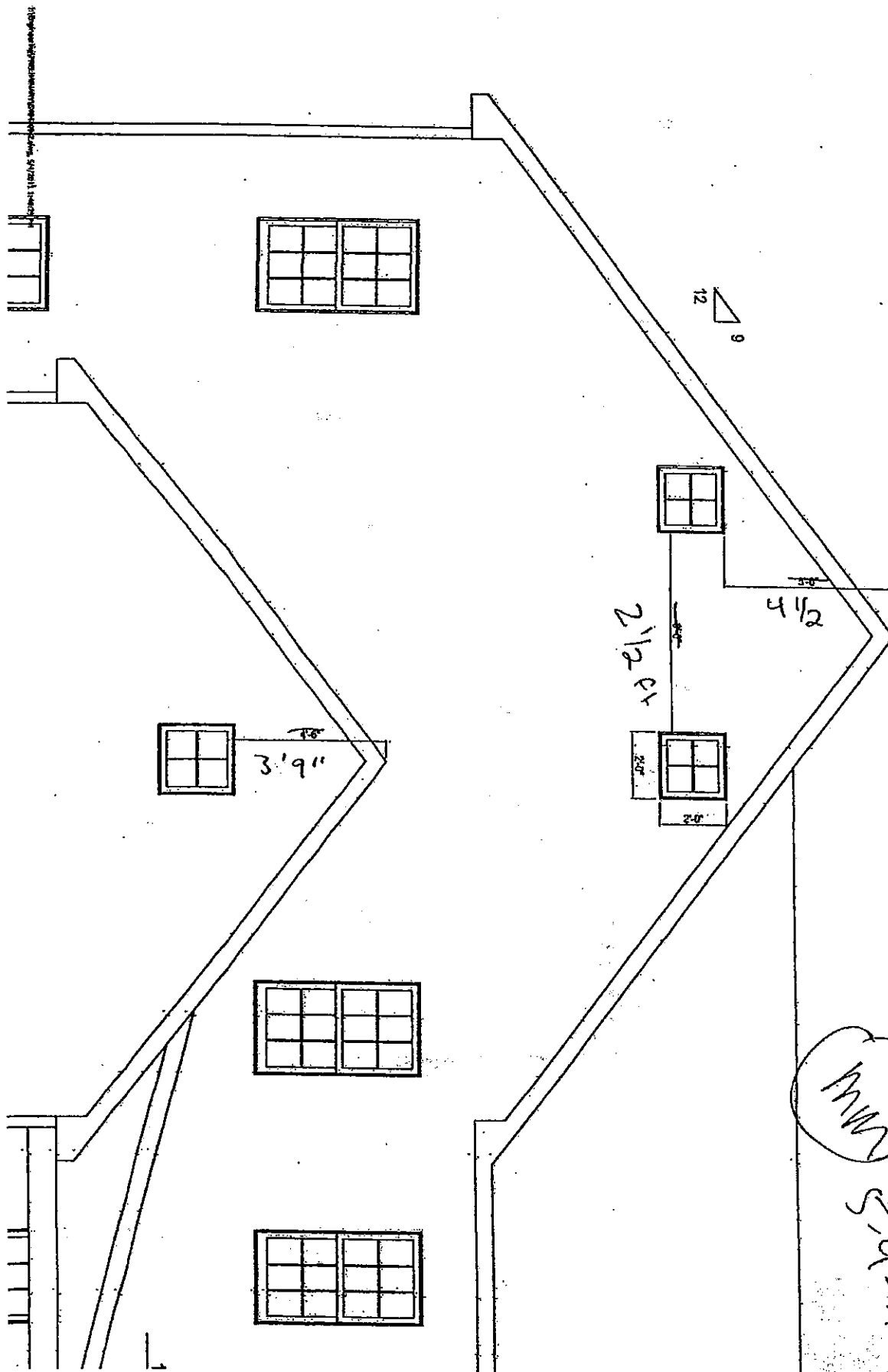
MODEL: CUSTOM 2-STORY
Scale: 1/8" = 1'-0"

CONTROL NUMBER
C-484708-2

SUB-SET

EL1

NO.	DESCRIPTION	QTY	UNIT
1	2-Story Custom Building	1	EA
2	2-Story Custom Building	1	EA
3	2-Story Custom Building	1	EA
4	2-Story Custom Building	1	EA
5	2-Story Custom Building	1	EA
6	2-Story Custom Building	1	EA
7	2-Story Custom Building	1	EA
8	2-Story Custom Building	1	EA
9	2-Story Custom Building	1	EA
10	2-Story Custom Building	1	EA
11	2-Story Custom Building	1	EA
12	2-Story Custom Building	1	EA
13	2-Story Custom Building	1	EA
14	2-Story Custom Building	1	EA
15	2-Story Custom Building	1	EA
16	2-Story Custom Building	1	EA
17	2-Story Custom Building	1	EA
18	2-Story Custom Building	1	EA
19	2-Story Custom Building	1	EA
20	2-Story Custom Building	1	EA



MM

5-2-11

Floor

NOTE: ALL SPANS WILL REQUIRE REVIEW BY ENGINEER

DATE: 5/24/10

Integrity Building Systems, Inc.

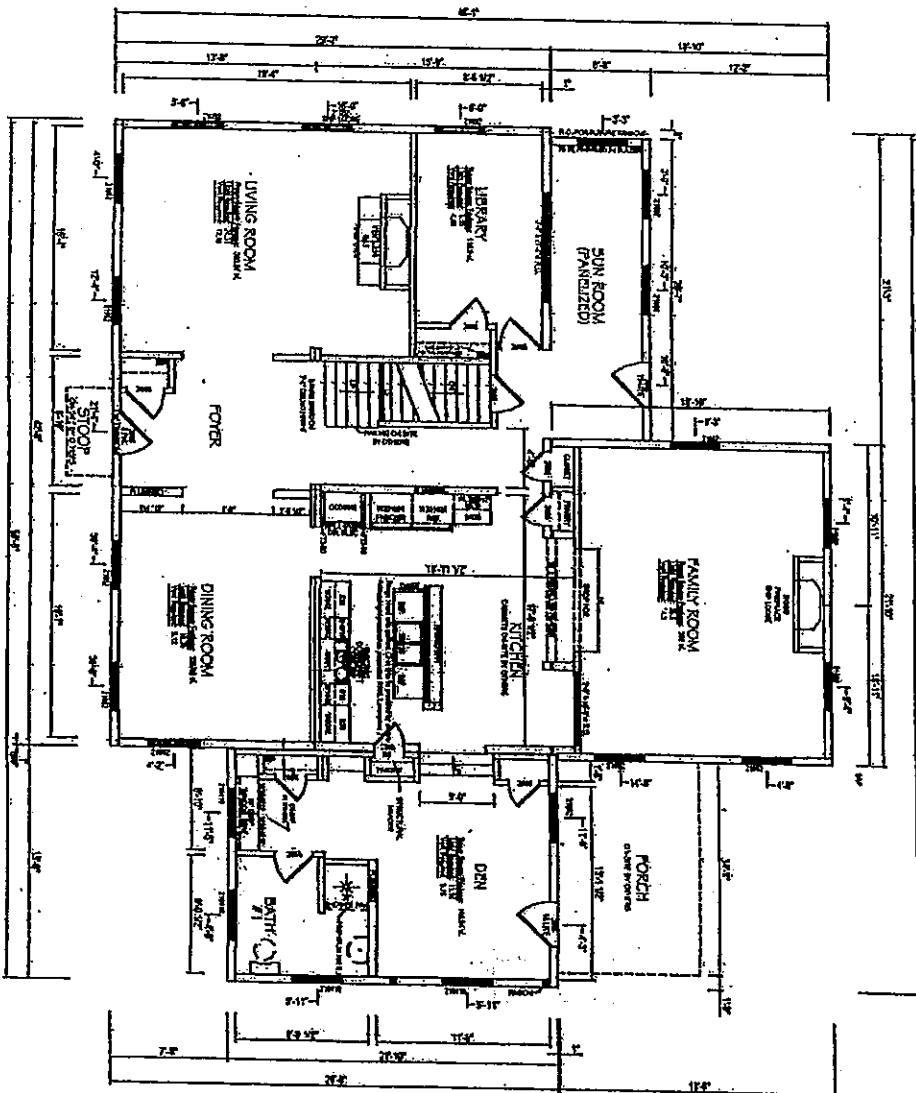
DEALER: CONVENIENT INSTALLATION
CUSTOMER: MADISON

DATE: 5/24/10
MODEL: CUSTON 2-STORY
DRAWN BY: CDK

Scale: 1/8" = 1'-0"

CONTROL NUMBER
C-483709-2

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	1st FLOOR	1	SQ. FT.	100.00	100.00
2	2nd FLOOR	1	SQ. FT.	100.00	100.00
3	3rd FLOOR	1	SQ. FT.	100.00	100.00
4	4th FLOOR	1	SQ. FT.	100.00	100.00
5	5th FLOOR	1	SQ. FT.	100.00	100.00
6	6th FLOOR	1	SQ. FT.	100.00	100.00
7	7th FLOOR	1	SQ. FT.	100.00	100.00
8	8th FLOOR	1	SQ. FT.	100.00	100.00
9	9th FLOOR	1	SQ. FT.	100.00	100.00
10	10th FLOOR	1	SQ. FT.	100.00	100.00
11	11th FLOOR	1	SQ. FT.	100.00	100.00
12	12th FLOOR	1	SQ. FT.	100.00	100.00
13	13th FLOOR	1	SQ. FT.	100.00	100.00
14	14th FLOOR	1	SQ. FT.	100.00	100.00
15	15th FLOOR	1	SQ. FT.	100.00	100.00
16	16th FLOOR	1	SQ. FT.	100.00	100.00
17	17th FLOOR	1	SQ. FT.	100.00	100.00
18	18th FLOOR	1	SQ. FT.	100.00	100.00
19	19th FLOOR	1	SQ. FT.	100.00	100.00
20	20th FLOOR	1	SQ. FT.	100.00	100.00



Final
5-4-11

NOTE: ALL SPILLS WILL REQUIRE REVIEW BY ENGINEER

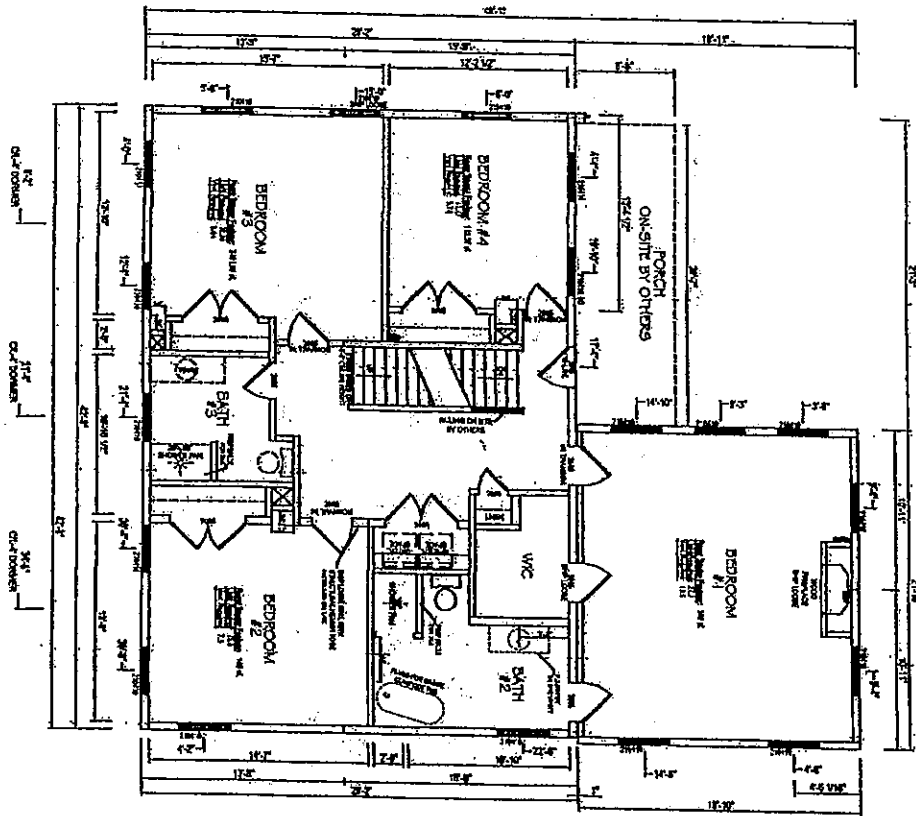
Integrity Building Systems, Inc.

DEALER: CONVENIENT INSTALLATION
CUSTOMER: MADISON

DATE: 5/24/10 MODEL: CUSTOM 2-STORY
DRAWN BY: CDK

Scale: 1/8" = 1'-0"
CONTROL NUMBER
C-484709-2

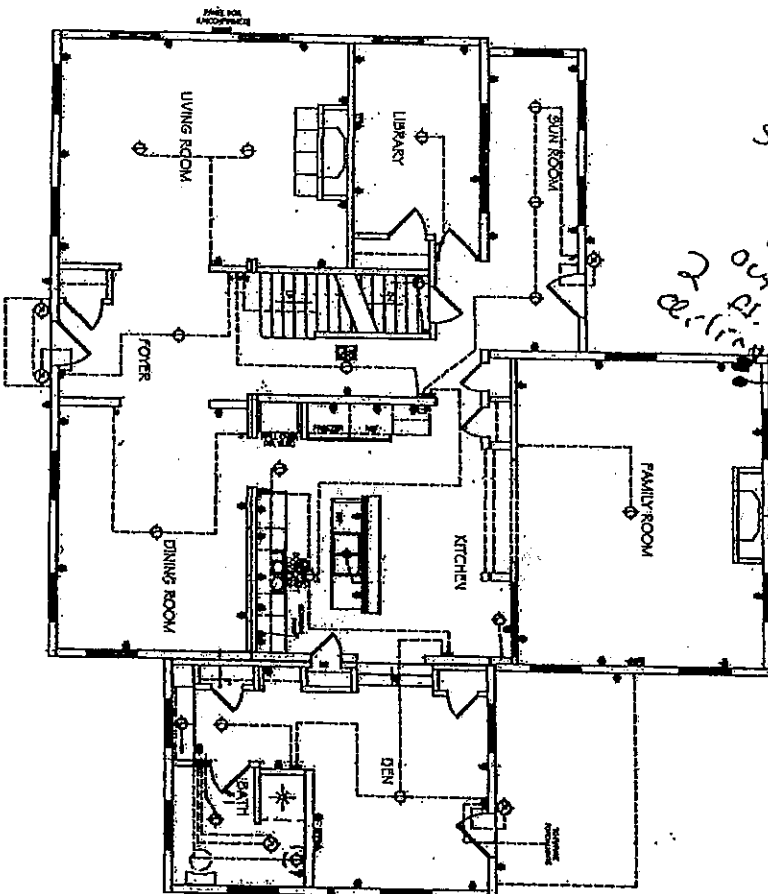
SUB-SET
A2



Handwritten: Final 5-24-11

2ND FLOOR
2nd Floor Ceiling

Room	Area	Notes
BEDROOM #1	11'-0" x 11'-0"	
BEDROOM #2	11'-0" x 11'-0"	
BEDROOM #3	11'-0" x 11'-0"	
BEDROOM #4	11'-0" x 11'-0"	
BATH #1	5'-0" x 6'-0"	
BATH #2	5'-0" x 6'-0"	
W.C.		
HALL		
CLOSET		
PORCH		



Hand-drawn sketch of a wall-mounted TV and a satellite dish. The TV is mounted on a wall, and a satellite dish is mounted above it. A line connects the two, with the handwritten text "Satellite and Jack one outlet 2 ft. from wall mounted T.V." written along it.

5-11-11
Fin
M3

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Integrity-Building Systems, Inc.

DEALER: CONVENIENT INSTALLATION
CUSTOMER: MADISON

DATE: 5/24/10
DRAWN BY: CDK

MODEL: CUSTOM 2-STORY
Scale: 1/8" = 1'

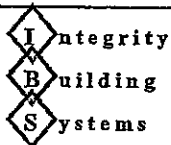
CONTROL NUMBER
C-484709-2

SUB-SET	E1
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[illegible]

INTEGRA SERIES - VIRGINIA

Date Typed: _____
 Serial No.: _____ Quote No.: MS-01236
 Builder: Convenient Installation/ Darren McNutt
 Address: 351 Thistle Ridge Lane
 City & State: Ranson, WV
 Zip: 25438
 Phone No.: 304-279-6028
 FAX No.: 304-728-0656
 Salesman: M. Sickle



Revised 4/19/2011

2435 Houseless Run Road
 Milton Pa 17847
 Phone #: (570) 522-3600 Fax #: (570) 522-0089

Date of Quote: 5/5/2011
 Ordered by: Darren
 Retail Customer Name: Madison
 Site Address: 40153 Janney St
 City: Waterford VA 20197
 VA
 County: _____
 Requested Delivery Date: _____

COLOR SECTION

Type	Color	OMIT
Siding: <input type="checkbox"/> 1/4" <input type="checkbox"/> 1/4" DL <input type="checkbox"/> Main St.		
Shutters: <input type="checkbox"/> Louvered <input type="checkbox"/> Paneled		
Arch. Shingles: <input type="checkbox"/> Duration 30 Yr.		
Floor	Countertop	
Foyer	OMIT - Raise 3/4" Onsite HW	-
Living Room	OMIT - Raise 3/4" Onsite HW	-
Dining Room	OMIT - Raise 3/4" Onsite HW	-
Family Room	OMIT - Raise 3/4" Onsite HW	-
Den / Study	OMIT - Raise 3/4" Onsite HW	-
Kitchen	OMIT - Raise 3/4" Onsite HW	OMIT
Utility	OMIT - Raise 3/4" Onsite HW	-
Hall First Floor	OMIT - Raise 3/4" Onsite HW	-
Hall Second Floor	OMIT - Raise 3/4" Onsite HW	-
Stairs	OMIT - Raise 3/4" Onsite HW	-
BR #1	OMIT - Raise 3/4" Onsite HW	-
BR #2	OMIT - Raise 3/4" Onsite HW	-
BR #3	OMIT - Raise 3/4" Onsite HW	-
BR #4	OMIT - Raise 3/4" Onsite HW	-
Bath #1	OMIT - Raise 3/4" Onsite HW	OMIT
Bath #2	OMIT - Raise 3/4" Onsite HW	OMIT
Bath #3	OMIT - Raise 3/4" Onsite HW	OMIT

Option #	Price
X Roof Sheathing: 1/2" Zip Board IPO Std.	1363
X Wall Sheathing: <input checked="" type="checkbox"/> 7/16" OSB <input type="checkbox"/> 1/2" Plywood	Std.
X Fascia & Drip Edge <input checked="" type="checkbox"/> White <input type="checkbox"/> Chk	Std.
Shutters: <input type="checkbox"/> Front <input type="checkbox"/> All Around	
OMIT Shingles: <input checked="" type="checkbox"/> Duration	-1140
X Windows: <input checked="" type="checkbox"/> Marvin Integrity Fiberglass	
w/ Simulated Divided Lites IPO Std.	11920
OMIT Mainstreet Siding T/O	-2404
X (1) Fg 15-Lite Drs IPO (1) 9-Lite Drs	500
X Oil Rubbed Bronze Ext. Door Hardware	58
X 3/0X68 Wood exterior door (84lumber)	359
X 2-15lite wood doors (84lumber)	2758
X Transom Over 3/0 Front Door	500
OMIT Exterior Lights:	-78
X House Wrap	Std.
X Ice/Water Barrier Per Code	Std.
X Battery Operated Door Chimes	Std.
X Oil Rub Bronze Ext. door knobs	Std.
X C-board Den, bath 1,2,3 Sunroom	1314

Option #	Price
X BATH #1 (@ Den) <input checked="" type="checkbox"/> 3/4" Std.	
Fixture Color:	
OMIT Cabinet: Plumb Only.	-225
Color:	
OMIT Countertop: <input type="checkbox"/> Laminate <input type="checkbox"/> Cultured Marble	Incl.
OMIT Vanity Striplights - Wire Only	-29
OMIT Mirrors:	-20
<input type="checkbox"/> 60" Tub/ Shower <input type="checkbox"/> 60" Shower	
X 36" Shower Pan w/ C-Board Surround	
plumb only no faucet	-40
NOTE Drywall To Be Installed To Ceiling	
OMIT Watercloset	-111
X BATH #2 (@ 2nd Flr Ofc) <input checked="" type="checkbox"/> Full Std.	
Fixture Color:	
OMIT Cabinet: Plumb Only	-328
Color:	
OMIT Countertop: <input type="checkbox"/> Laminate <input type="checkbox"/> Cultured Marble	Incl.
OMIT Vanity Striplights - Wire Only	-29
OMIT Mirrors:	-20
X 34"x48" Shower Area w/ C-Board Surround	
Rubber Membrane & plumb only no faucet	-140
<input type="checkbox"/> 39" Angle Shower w/Door	
OMIT 60" Low Garden Tub - Plumb Only	-335
OMIT Watercloset	-111
X BATH #3 (2nd Flr Hall) <input checked="" type="checkbox"/> 3/4" Std.	
Fixture Color:	
OMIT Cabinet: Plumb Only	-328
Color:	Std.
OMIT Countertop: <input type="checkbox"/> Laminate <input type="checkbox"/> Cultured Marble	Std.
OMIT Vanity Striplights - Wire Only	-29
OMIT Mirrors:	-20
X 30"x50" Shower Area w/ C-Board Srmd,	
Rubber Membrane & plumb only no faucet	-140
<input type="checkbox"/> 39" Angle Shower w/Door	
OMIT Watercloset	-111

Option #	Price
X Model #: Custom 2-Story	170393
X Size: 48'-11" / 29'-6" x 58'-6"	
X <input checked="" type="checkbox"/> Basement <input type="checkbox"/> Walk Ht <input type="checkbox"/> Crawl Space	Std.
X Roof Pitch: <input type="checkbox"/> 7/12 <input type="checkbox"/> 9/12 <input type="checkbox"/> 12/12	7590
<input type="checkbox"/> 7/12 Storage Trusses <input type="checkbox"/> Hip Roof	
X <input type="checkbox"/> 24" o.c. <input checked="" type="checkbox"/> 16" o.c.	Std.
NOTE Front Stoop Onsite By Other	
X Roof Overhangs: <input checked="" type="checkbox"/> 14" Gable Ends	480
X Eaves: <input checked="" type="checkbox"/> 14" Hinged <input type="checkbox"/> 14" Hinged	600
X Treated Lumber	810
X Floor Joists: <input type="checkbox"/> 1" <input checked="" type="checkbox"/> 1 1/2" <input type="checkbox"/> 2" 2000	Std.
X Steel Beam - Lr Foyer/ Dr/ Fr	750
X 1st Flr Girders@Mate Wall Triple M	Std.
X 2 x 8 Perimeter 1st Flr Ceiling	Std.
Additional Length ft.	
X 2x6 Walls: <input checked="" type="checkbox"/> 24" o.c. <input type="checkbox"/> 16" o.c.	Std.
X Decking: <input checked="" type="checkbox"/> 3/4" T&G Plywood	Std.
<input type="checkbox"/> 3/4" T&G OSB <input type="checkbox"/> Luan In Vinyl Areas	
X Ceiling: <input checked="" type="checkbox"/> 9' 1st Floor	1535
X Ceiling: <input checked="" type="checkbox"/> 8'-6" 2nd Floor	1054
X Interior Walls: <input checked="" type="checkbox"/> 16" o.c. IPO Std.	560
Cape Shed Dormer	
X Cape Dormers: <input checked="" type="checkbox"/> D-1 <input type="checkbox"/> D-2	3 4005
Pull Down Stairs:	

Option #	Price
OMIT Carpet Pad: <input checked="" type="checkbox"/> Standard <input type="checkbox"/> Upgrade	Incl.
OMIT Carpet: <input checked="" type="checkbox"/> Standard <input type="checkbox"/> Upgrade <input type="checkbox"/> Om	-2747
OMIT Foyer Floor Covering: <input checked="" type="checkbox"/> Vln <input type="checkbox"/> Stained	-1296
NOTE R.O. @ SR/Library On Interior Wall For Onsite Wndw	
X Custom 4-Panel Paint Grade Wood Int.	
X Doors IPO Std. (T/O)	2730
X Molding: <input checked="" type="checkbox"/> White MDF	Incl.
X Omitt all base moldg	-310
X Omitt all windo and door casing	-445
X White Cove Molding:	1600
X Location: Dr/Lr/Foy/Fr/Kit/Library	
X <input type="checkbox"/> Mahm Hndl <input type="checkbox"/> Lever Lcks <input checked="" type="checkbox"/> Oil Rubbed Bronze	520
X 48" Straight Run OAK Stairs w/	4100
Standard Spindles IPO Std.	
NOTE Stair Railing ONSITE By Other	
NOTE Raise All Base Cabs/ Moldings 3/4" For Onsite HW	
X Fireplaces: <input checked="" type="checkbox"/> 42" <input type="checkbox"/> Wood DV	2330
No Mantel, Raised Hearth & Remote	
X Location:	Br1
X Fireplaces: <input checked="" type="checkbox"/> 42" <input type="checkbox"/> Wood	2330
w/ Flue Pipe, Chase, No Mantle & Raised Hearth	
X Location:	FR
X R.O. For Interdr Transom Br1,2,3,4 Brkt	200
X Ventless fire place raise hearth & mantel	1780

Option #	Price
X Ceiling: <input checked="" type="checkbox"/> R-30 <input type="checkbox"/> R-38	Std.
X Wall: <input checked="" type="checkbox"/> R-19	Std.
X Interior Partition Walls:	R-11 1869

Option #	Price
OMIT Cabinets:	-2025
Cabinet Color:	
Additional Cabinets:	
<input type="checkbox"/> Cove Molding <input type="checkbox"/> 15" Soft <input type="checkbox"/> 24" Soft	
OMIT Countertop: <input checked="" type="checkbox"/> Laminate <input type="checkbox"/> Corian	-125
OMIT Kitchen Sink & Faucet	-105
Appliance Color:	
OMIT Wire only For Onsite Rangoonhood no vent	-25
X Rangoon: <input checked="" type="checkbox"/> Wire Only <input type="checkbox"/> Elect <input type="checkbox"/> Gas	Std.
<input type="checkbox"/> Elect Self-Clean <input type="checkbox"/> Gas Self-Clean	
<input type="checkbox"/> Smooth Top <input type="checkbox"/> Calpod Top	

Option #	Price
Optional <input type="checkbox"/> Electric AB Heat <input type="checkbox"/> Hot Water BB	TBD
Note Water Heater: <input checked="" type="checkbox"/> 50 gal <input type="checkbox"/> Elec/ Shiploose	310
X Wire & Plumb for Washer <input checked="" type="checkbox"/> w/ Pan	125
X Wire for Dryer	80
X TV Jacks: 2 are Std <input checked="" type="checkbox"/> Add 2	70
X Location: Den/ (2) Fr/ Br1	
X Phone Jacks: 2 are Std	Incl.
X Location: Den/ Library	
X Wire, switch & supports for 14 drum lights	Incl.
X Ethernet Jacks	480
X Locations: Library/ (2) Fr/ Den/ Br1/ Br2/ Br3/ Br4	
X Wire/ Switch For (3) Future Pendants	105
Locations	
omit All Interior light fixtures	-163
X "PEX" Plumbing T/O	Std.
X (3) C. O. Detectors	165
X Wire Shelf Over Washer/Dryer	Std.
X 3" PVC Pipe w/J-Box for Radon Vent	Std.
X Panel Boic under bath #1	Std.

Option #	Price
X Wire & Switch For closet lights(10)	350
X Locations: Br2 Closet/ Br3 Closet/ Br4 Closet & Utility	
X Wire & Switch For (3) Ext. Lights	105
X Attic Fan -wire only	35
X Omitt door chimes	-15
Note Outlet for refer	inc
Note Outlet for freezer	inc

Option #	Price
X 2-42" Wood Fireplace	Incl.
X Panelized Sunroom	Incl.
X 42" Gas Fireplace	Incl.
X 3-IAWN3716 w/SDI grids	1413
X 3 #1 Dormers	Incl.
X 5-IAWN2523 Marvin window w/grids	1575
X Prepay discount	-6770
NOTE Primer Paint ONLY T/O Interior	
LABELS & SEALS SECTION	
X Inspection: <input type="checkbox"/> BY PA <input type="checkbox"/> BY CHA <input type="checkbox"/> OR	810
omit NTA plans (finals)	-4500
X Third Party Label	1080
X IBS Engineering Fee	600
X PE Sealed Calcs/Prints	1920
X Wind Zone:	Incl.
X Snow Load:	Incl.
X NTA Stamped Plans	400

Option Charges	38,684
Base Price	170393
Subtotal	209077
Other	6272
Freight Allowance (7) Loads + Parts	20705
Set-up Allowance	17,695
Carrier Usage	600
Subtotal	254349
Less Deposit	
Total Due	254349

A 15% minimum deposit is required to accompany this order.

Leatherby, Eric (DHCD)

From: Hunter Madison [huntermadison2002@yahoo.com]
Sent: Monday, April 09, 2012 6:49 PM
To: Leatherby, Eric (DHCD); Davis, Cindy (DHCD)
Subject: Fw: Re: MADISON, Roof

Down below, I remind him that I will use the attic space.

----- Forwarded Message -----

From: Martin Sickle <MartyS@integritybuild.com>
To: huntermadison2002@yahoo.com
Sent: Tuesday, June 21, 2011 11:22 AM
Subject: FW: Re: MADISON, Roof

Malari,

Please see below. Sorry for the delay, I have been away for a couple of days.

Martin Sickle

V.P. Sales & Marketing
Integrity Building Systems, Inc.
2435 Housels Run Road
Milton, PA 17847
Phone (800) 553-4402 Ext. 3629
Cell Phone (570) 274-3031
Fax: (570) 522-0089
sickle@integritybuild.com
www.integritybuild.com

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From: Hunter Madison [mailto:huntermadison2002@yahoo.com]
Sent: Fri 6/17/2011 7:59 AM
To: Martin Sickle
Subject: Fw: Re: MADISON, Roof

Marty,

Does my house come with a drip edge? We have it omitted when we credited the roof shingle.. Just checking as I am trying to buy my roofing materials. If so, do I have a color choice? The roof is going to be dark brown metal. If I do have a choice of colors from you, would you suggest the drip edge should be white or dark? It should be a color the blends the roof and siding color together.

Based on the construction plan, do I need a ridge vent for all of the roof peaks, including the dormers? The roof and dormers are designed and built for ridge vents. I do not know how the metal roof installers apply the vent. Will you have them pre-cut? The opening in the roof will be there. If they are needed, I would like them pre-cut and covered with shrink wrap or something else. The roof installation will take place quickly. I need to know for planning the roof installation and purchase of materials. As the house will not have electricity, it would be hard to cut it after installation.

Leatherby, Eric (DHCD)

From: Hunter Madison [huntermadison2002@yahoo.com]
Sent: Tuesday, April 10, 2012 6:38 AM
To: Leatherby, Eric (DHCD); Davis, Cindy (DHCD)
Subject: Fw: Mtr base sizing

----- Forwarded Message -----

From: Martin Sickle <MartyS@integritybuild.com>
To: Hunter Madison <huntermadison2002@yahoo.com>
Sent: Wednesday, June 15, 2011 10:07 AM
Subject: RE: Mtr base sizing

Malari,

Jeff from eng. just informed me that the transom over bedroom #2 door needs to be 10", there is a special header above this door that will not allow a 12' window.

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From: Hunter Madison [mailto:huntermadison2002@yahoo.com]
Sent: Tue 6/14/2011 2:05 PM
To: Martin Sickle
Subject: Fw: Mtr base sizing

Marty, VA Power says I need 400 amp service

--- On Tue, 6/14/11, Glenn S Rowan <glenn.s.rowan@dom.com> wrote:

From: Glenn S Rowan <glenn.s.rowan@dom.com>
Subject: Mtr base sizing
To: "Hunter Madison" <huntermadison2002@yahoo.com>
Date: Tuesday, June 14, 2011, 8:01 AM

Milari,

You will need a 400 amp service if you are planning on having the house panel be a 200 amp panel and a 100 amp sub panel. If the house panel is maxed out and you are then adding a sub panel, overloading will be an issue and you will not have enough current to run multiple circuits at the same time without tripping the breakers.

I hope this helps. Let me know if you need anything else.

Glenn S. Rowan

--- On Sun, 6/12/11, Hunter Madison <huntermadison2002@yahoo.com> wrote:

From: Hunter Madison <huntermadison2002@yahoo.com>
Subject: vent pipes through attic, pre-cut ridge vent
To: MartyS@integritybuild.com
Date: Sunday, June 12, 2011, 6:31 AM

Marty,

As you know, I intend to finish the attic area of the main block, 43 x 30. Some of HVAC equipment will be behind the south (back) knee wall in the attic, where my Super Fan will be installed too.

Can you make sure the electric is available to easily/sensibly tie into up there?

Please make sure that I do not have vent pipes running through the attic space that I intend to use, such as the dryer vent.

Based on the construction plan, do you think that I need a ridge vent for all of the roof peaks, including the dormers? Will you have them pre-cut? If they are needed, I would like them pre-cut and covered with shrink wrap or something else. The roof installation will take place quickly. I need to know for planning my metal roof installation and purchase of materials.

Thank you.

Milari

--- On Fri, 6/10/11, Hunter Madison <huntermadison2002@yahoo.com> wrote:

From: Hunter Madison <huntermadison2002@yahoo.com>
Subject: Breaker box, sub panel box
To: "Martin Sickle" <MartyS@integritybuild.com>
Date: Friday, June 10, 2011, 5:22 PM

Does this house include any breakers or breaker box, and if so, what? Darren mentioned a breaker box and a sub panel box, what size?

Thank you.

What is the ETA?

Milari

--- On Fri, 6/10/11, Martin Sickle <MartyS@integritybuild.com> wrote:

From: Martin Sickle <MartyS@integritybuild.com>
Subject: RE: Bathroom vent stub

To: "Hunter Madison" <huntermadison2002@yahoo.com>

Date: Friday, June 10, 2011, 1:25 PM

I will put it on the plans

Martin Sickle

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msickle@integritybuild.com

www.integritybuild.com

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From: Hunter Madison [mailto:huntermadison2002@yahoo.com]

Sent: Fri 6/10/2011 12:59 PM

To: Martin Sickle

Subject: Bathroom vent stub

Marty, Can you make sure I have the bathroom vent pipe stubbed down to the basement as I plan on installing a bathroom? The plumber said it could come from the bathroom in the west wing, on the first floor.

--- On Fri, 6/10/11, Martin Sickle <MartyS@integritybuild.com> wrote:

From: Martin Sickle <MartyS@integritybuild.com>

Subject: RE: Dominion Work Request #7381098 New Service/Residential 400 amp

To: "Hunter Madison" <huntermadison2002@yahoo.com>

Date: Friday, June 10, 2011, 8:22 AM

I do believe this to be the builder's responsibility, in this case I'm not sure that is you or Darren according to your contract. Darren should have this information.

Martin Sickle

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From: Hunter Madison [mailto:huntermadison2002@yahoo.com]

Sent: Fri 6/10/2011 6:38 AM

To: Darren; Martin Sickle

Subject: Re: Dominion Work Request #7381098 New Service/Residential 400 amp

I talked with them over the phone and they say the builder needs to fill it out. Do you have any close guesses for me since I have no idea.

Thank you.

Milari

--- On Thu, 6/9/11, Darren <darren123@frontier.com> wrote:

From: Darren <darren123@frontier.com>

Subject: Re: Dominion Work Request #7381098 New Service/Residential 400 amp

To: "Hunter Madison" <huntermadison2002@yahoo.com>

Date: Thursday, June 9, 2011, 10:41 PM

malari you will have to fill this out if you have any questions call them and fill out over the phone. Sorry

From: Hunter Madison

Sent: Wednesday, June 08, 2011 5:30 AM

To: Martin Sickle ; Darren

Subject: Fw: Dominion Work Request #7381098 New Service/Residential 400 amp

Marty/Darren

Can you fill in the load letter form?

Thank you.

Milari

--- On Tue, 6/7/11, Glenn S Rowan <glenn.s.rowan@dom.com> wrote:

From: Glenn S Rowan <glenn.s.rowan@dom.com>

Subject: Dominion Work Request #7381098 New Service/Residential 400 amp

To: "huntermadison2002@yahoo.com" <huntermadison2002@yahoo.com>

Date: Tuesday, June 7, 2011, 3:43 PM

Milari,

Hello. Here is the load letter, please fill out and return (scan/fax). And after the county inspector passes the electrical inspection (provided the underground agreement is signed and returned) we can send the project to construction. Typically, projects take 3-4 until they are complete.

Please let me know if you have any questions.

Glenn

Glenn S. Rowan

Dominion Virginia Power

Customer Projects Designer II

Customer Solutions Design - Leesburg

Work 703/779/5166

Tie-Line 8/748/5166

Fax 703/779/5142

Glenn.S.Rowan@dom.com

All electric services must comply with Dominion's 2007 Blue Book: Information and Requirements for Electrical Service

<http://www.dom.com/dominion-virginia-power/customer-service/for-businesses/pdf/bluebook.pdf>

Copy

County Of Loudoun

Department of Building and Development

1 Harrison St., S.E., P.O. Box 7000

Leesburg, Virginia 20177

(703) 777-0220

Copy

Automated Inspection Request (703) 771-5331

Web Inspection Request www.loudoun.gov/b&d/wairs

The permit holder is responsible for inspections and for assuming that the final approvals are received prior to use of building structure.

All residential permits will be revoked three (3) years from date of issuance.

Permits may be revoked if work is abandoned for a period of six (6) months.

New permits will be required to complete any work remaining on revoked permits.

When required, residential per unit cash proffers must be paid by cashier's check after all inspections have been finalized. Once received, two business days are required for processing prior to issuance of the occupancy permit.

ELECTRICAL PERMIT # E00156190101

Permit Issue : 2011-06-23
 Applicant Name : MADISON, MILARI
 Owner name : MADISON, MILARI
 Property Address : 40153 JANNEY ST
 WATERFORD VA 20197

Bldg/ Floor/ Unit :
 Section/ Lot : LOT 5
 Subdivision : TOWN OF WATERFORD
 Mechanics' Lien Agent :

Building Permit # : B00156190100
 Structure Type : RESIDENTIAL SGL FMLY DETACHED
 Construction : NEW CONSTRUCTION
 Permit Purpose : SFD
 Pin Number : 304464671000
 Tax Map Number : /28/A/1/H/1/5/
 Contractor : OWNER
 Related Permits : NONE
 Mech Lien Agent Ph # :

Mech Lien Agent Addr :

Permit Comments

Details: 3 Motors = 120Amp Total 50,40,30=120
 20,15,10=KW

Detail Information

AMPS SERVICE RATING	400
NUMBER OF FIXTURES	30
NUMBER OF GARBAGE DISPOSALS	1
NUMBER OF WATER HEATERS	1
NUMBER OF EXHAUST FANS	1
NUMBER OF CENTRAL HEAT UNITS	1
NUMBER OF SUB PANELS	1
NUMBER OF RECEPTACLES	100
NUMBER OF DISHWASHERS	1
NUMBER OF WATER PUMPS	1
NUMBER OF CIRCUITS	40
NUMBER OF CLOTHES DRYERS	1
NUMBER OF CEILING FANS	4
NUMBER OF WELL PUMPS	1
NUMBER OF COOKING UNITS	2
NUMBER OF AIRCONDITIONER UNITS	3
NUMBER OF CLOTHES WASHERS	1
NUMBER OF GENERATORS	1

Fee Calculations

Description	Units	Rate	Total
NO FEE FOR PERMIT	0.00	0.0000	\$0.00
PERMIT TOTAL FEE	0.00	0.0000	\$0.00

Building Official

Zoning Administrator

Subject: RE: A couple of questions - Need to order brick
To: "Martin Sickle" <MartyS@integritybuild.com>
Date: Thursday, July 14, 2011, 11:07 AM

Thank you.

Do you know what the dimensions are because I need to order a different type of brick for the chimney face. They are cut thinner, less weight.

Milari

--- On Thu, 7/14/11, Martin Sickle <MartyS@integritybuild.com> wrote:

From: Martin Sickle <MartyS@integritybuild.com>
Subject: RE: A couple of questions - Need to order brick
To: "Hunter Madison" <huntermadison2002@yahoo.com>
Date: Thursday, July 14, 2011, 8:27 AM

Milari,

I did check with production, we do build wall panels for the chimneys. Darren will have to assemble them after he sets the units.

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From: Hunter Madison [mailto:huntermadison2002@yahoo.com]
Sent: Thu 7/14/2011 7:30 AM
To: Martin Sickle
Cc: darren123@frontier.com
Subject: Fw: A couple of questions - Need to order brick

Marty,

Will you kindly prepare the exterior box for the chimney so Darren can install it, or perhaps this was already planned for?

Do you send or tape the zip board on the roof?

Is there one chimney pipe that emerges from the roof and what will be the exterior dimensions? I need to order the bricks to clad the chimney ASAP/today.

Thank you.

Milari 540-882-3160

— On Mon, 7/11/11, Hunter Madison <huntermadison2002@yahoo.com> wrote:

From: Hunter Madison <huntermadison2002@yahoo.com>

Subject: A couple of questions

To: MartyS@integritybuild.com

Date: Monday, July 11, 2011, 7:38 PM

Marty,

I am hoping that you can build me a bog that will go over the chimney pipe, so Darren can set it and the mason can get it quickly faced with brick so the roof can be installed. Marty, I am hoping that it will be relatively quick and easy based on the specifications of the fireplace kit(s). This would be a big time saver for me as I have no idea what the specs call for. I will have additional supports installed in the trusses to hold up the weight of the decorative brick.

Also, I am still waiting for confirmation for the roofer that the vents will be installed at the time of setting through the roof.

And, that the building will have a rake and fascia.

Thank you.

Milari

Leatherby, Eric (DHCD)

From: Hunter Madison [huntermadison2002@yahoo.com]
Sent: Monday, April 09, 2012 6:27 PM
To: Davis, Cindy (DHCD); Leatherby, Eric (DHCD)
Subject: Fw: stairs

The house was set on July 20th.

----- Forwarded Message -----

From: Martin Sickle <MartyS@integritybuild.com>
To: Hunter Madison <huntermadison2002@yahoo.com>
Sent: Sunday, July 17, 2011 2:43 PM
Subject: RE: stairs

I will send the details to you on Monday morning.

Martin Sickle

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From: Hunter Madison [mailto:huntermadison2002@yahoo.com]
Sent: Sun 7/17/2011 6:48 AM
To: Martin Sickle
Subject: RE: stairs

What is the size/width of the stairwell down to the basement? I plan on ordering stairs Monday morning which I assume that I need get unless the house is coming with it?

What is the status of the stairs getting up to the attic? The stair people say I need a 5' 6" box to get up there via spiral.

M

--- On Fri, 7/15/11, Martin Sickle <MartyS@integritybuild.com> wrote:

From: Martin Sickle <MartyS@integritybuild.com>
Subject: RE: stairs, floor joist height, chimney, code, staging area
To: "Hunter Madison" <huntermadison2002@yahoo.com>
Date: Friday, July 15, 2011, 6:20 PM

Malari
See below

Martin Sickle

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From: Hunter Madison [mailto:huntermadison2002@yahoo.com]
Sent: Fri 7/15/2011 7:36 AM
To: Martin Sickle
Subject: Fw: stairs, floor joist height, chimney, code, staging area

1. What is the height of the first floor joist (I am ordering stairs to the basement and need to know)?
We use 2x10 floor joist
2. What are the exterior dimensions of the chimney box so I can order the bricks?
I will send you a detail.
3. It appears code says spiral stairs need to be 5 ft.
4. What are the industry specs for attaching the modular to the foundation? Number of bolts for the sill plate installed how many feet apart? Straps or nailed to the sill plate and how many nails per foot? What code section are you relying upon so the code inspector knows?
We send a package with the house the contains set specifications, Darren will know this information, if not let me know.
5. Darren needs to use the field as identified for the staging area and seems to think wood planks need to be used to bidge the ditch. Please make sure that this field is used and the driver is prepared.
I know we delivered the gfirst box today to the field.

Milari 540-882-3160

--- On Thu, 7/14/11, Hunter Madison <huntermadison2002@yahoo.com> wrote:

From: Hunter Madison <huntermadison2002@yahoo.com>
Subject: stairs
To: MartyS@integritybuild.com
Date: Thursday, July 14, 2011, 4:45 PM

Marty,

I ran into Darren at the lot. He told me about the stairs. Maybe you can make a square circular stair that they may have had in older houses. I have contacted a company called Duvinage in Hagerstown, MD. Their telephone number is 800-541-2645.

Milari

--- On Thu, 7/14/11, Hunter Madison <huntermadison2002@yahoo.com> wrote:

From: Hunter Madison <huntermadison2002@yahoo.com>

Leatherby, Eric (DHCD)

From: Hunter Madison [huntermadison2002@yahoo.com]
Sent: Monday, April 09, 2012 6:46 PM
To: Leatherby, Eric (DHCD); Davis, Cindy (DHCD)
Subject: Fw: Madison spiral stairs, 40153 Janney Street
Attachments: C484709-2-2nd floor proposed.pdf; C484709-2-stair section.pdf

This e-mail describes the need for the spiral stair to the attic prior to the house being set.

----- Forwarded Message -----

From: Hunter Madison <huntermadison2002@yahoo.com>
To: TWilt120@comcast.net
Sent: Monday, July 18, 2011 5:59 PM
Subject: FW: Madison spiral stairs, 40153 Janney Street

Maybe the stairs can have partial turns since they are going up to an attic?

Milari Madiosn
40153 Janney Street
Waterford VA 20197
tel. 540-882-3160

renting in Lovettsville

--- On Mon, 7/18/11, Martin Sickle <MartyS@integritybuild.com> wrote:

From: Martin Sickle <MartyS@integritybuild.com>
Subject: FW: Madison spiral stairs
To: huntermadison2002@yahoo.com
Date: Monday, July 18, 2011, 11:38 AM

Malari,

Here is the framing details for the spiral stairs. Once you have installation instructions for the stairs you are putting in please send them to us so we can make sure there are no issues. We will be happy to supply any details or drawing you may need.

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From: Richard Rowe
Sent: Mon 7/18/2011 11:24 AM
To: Martin Sickle
Subject: FW: Madison spiral stairs

From: Chad Kister
Sent: Monday, July 18, 2011 11:16 AM
To: Richard Rowe
Subject: Madison spiral stairs

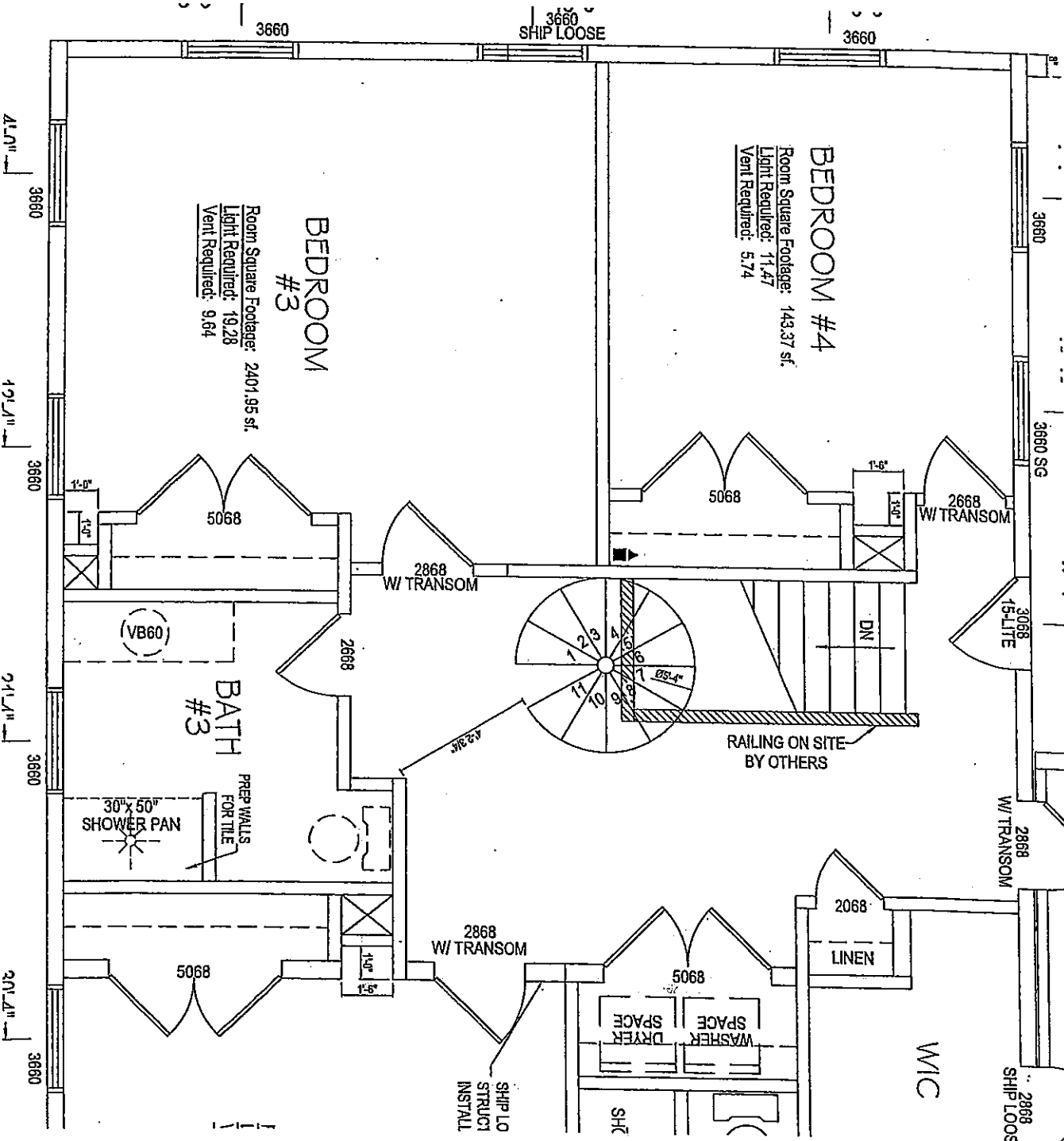
Dick,

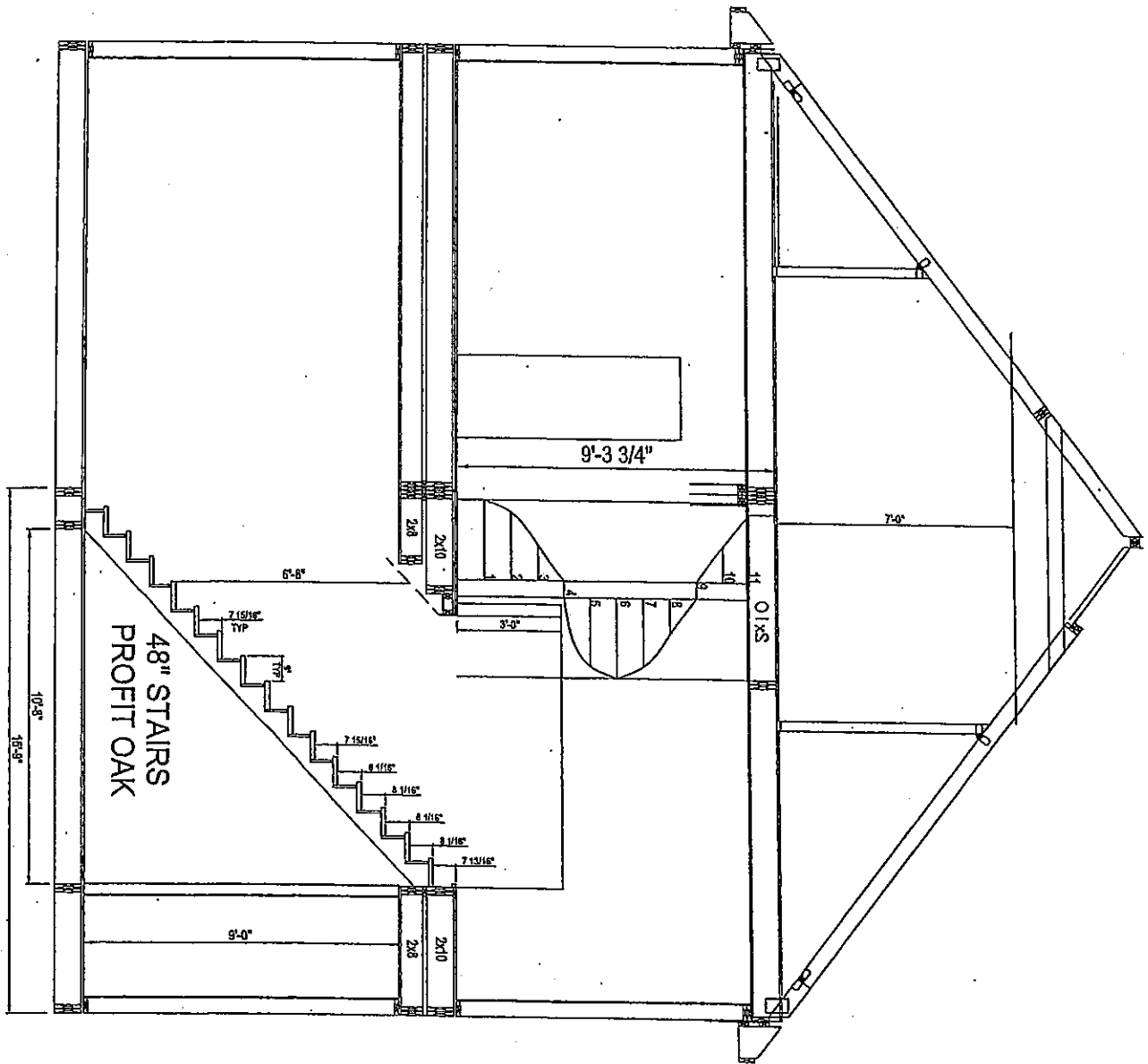
Attached are the drawings we reviewed for the stairs to the attic.

Thank you,

Chad Kister

Integrity Building Systems





INTEGRITY BUILDING SYSTEMS, INC.
2435 HOUSELS RUN ROAD
MILTON, PA 17847

VIRGINIA MODULAR DATA SHEET

Modular Home Model C-484709-2

State Label No.(s) VA 2011-0695 thru

VA 2011-0703

State label location as noted on approved plans.

Modular Home Serial # 01-0611-1991A thru I

Date of Manufacture 7/14/2011

NTA, Inc. Label No.(s) P2-336766 thru 336774

ELECTRICAL

Concealed Wiring Consists of Nonmetallic Sheathed Cable or Service Entrance Cable
Service panel: 200 amp, 120/240 V., single phase, 3 wire, 60 hertz./c

FACTORY INSTALLED APPLIANCES:

	MANUFACTURER	MODEL
Hot Water Baseboard	n/a	
Fireplace	Heatilator	EL42
Range	n/a	
Water Heater	n/a	
Dishwasher	n/a	
Disposal	n/a	
Microwave	n/a	
Refrigerator	n/a	
Ventless Fireplace	Morlessen	GUF36 R

DESIGN CONDITIONS

Building Area 3,799 SQ FT
Roof Live Load 30 PSF
Roof Dead Load 10 PSF
Use Group R5
Construction Type VB
Ground Snow Load 30 PSF

Distance to Lot Line n/a FT(Min)
Wind Zone / Exp. Cat 90C MPH
Seismic Zone B
Building Height 2 STORY
Floor Live Load 40/30 PSF
Floor Dead Load 10 PSF

CODE COMPLIANCE - This unit is constructed in accordance with the following Virginia State codes,

1. ICC International Building Code 2009 Edition
2. ICC International Plumbing Code 2009 Edition
3. ICC International Mechanical Code 2009 Edition
4. NFPA70 National Electrical Code 2008 Edition
5. ICC International Residential Code 2009 Edition
6. ICC International Energy Conservation Code 2009 Edition
7. Partial installation of sprinkler system at manufacturing facility with completion onsite by others.
8. Complete sprinkler system installed onsite by others

Heating

Design Temperature:

Indoor: 70 degrees F

Outdoor: 10 degrees F

Thermal Transmittance Values:

	onsite	"R" Values
"Uo" Floor	0.055	19 Floor
"Uo" Wall	0.035	19 Wall
"Uo" Roof	0.035	30 Roof

ITEMS SUBJECT TO LOCAL INSPECTION

A. ELECTRICAL

1. Interconnection between modules.
2. Service entrance entrance and grounding electrode conductors.
3. Fire warning equipment is to be installed and tested for proper operation - see equipment instructions.

B. PLUMBING

1. All piping below first floor.
2. Witness leakage test of gas, DWV and water supply systems.
3. Connection to gas, sewer and water utilities.
4. Sprinkler system when required by local jurisdictions.

C. HEATING

1. Complete forced air system.

D. STRUCTURAL

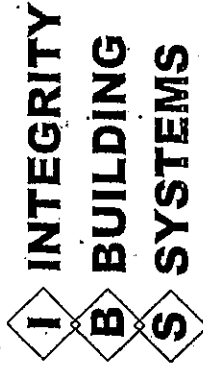
1. The design and construction of the foundation system.
2. Completion of exterior siding at end walls.
3. Installation of gable or ridge vents.
4. Floor insulation installation.
5. Connection of floor system (see installation instructions).
6. Connection of roof system (see installation instructions).
7. Connection of modules to foundation (see installation instructions).

Page	Description	Date	Revision
TP	Title Page	5/17/11	
F1	Preliminary Foundation Plan*	5/17/11	
A1	1st Floor Plan	5/17/11	
A2	2nd Floor Plan	5/17/11	
EL1	Elevations	5/17/11	
E1	1st Floor Electrical Plan	5/17/11	
E2	2nd Floor Electrical Plan	5/17/11	
S1	Two-Story Cross Section	5/17/11	
P1	Plumbing Notes	5/17/11	

* See note #7 on page F1
 SPECIFIC ANCHOR BOLT/TIE DOWN STRAPPING (IF REQUIRED)
 WILL BE INCLUDED WITH CALCULATIONS, OTHERWISE COMPLY
 WITH LOCAL REQUIREMENTS

BEAM AND HEADER SYSTEMS PAGE REFERENCES
Roof: Systems Pg 5-9
Cape: Systems Pg 5B & 5B.1
Two Story: Systems Pg S10 & S10.1
Two Story w/Cape Roof: Systems Pg S10.2 & S10.3

C-484709-2 Two-Story



**2435 HOUSELS RUN RD.
 MILTON, PA 17847
 570-522-3600**

THIS MODEL IS TO BE BUILT UNDER THE VIRGINIA APPROVED
 MODULAR BUILDING SYSTEM

TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL
 JUDGMENT, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE
 ENERGY CONSERVATION CONSTRUCTION CODE OF VIRGINIA.
 COMPLIANCE SHALL BE DEMONSTRATED TO THE LOCAL BUILDING
 OFFICIAL BY VA RESCHECK.

APPROVED BY

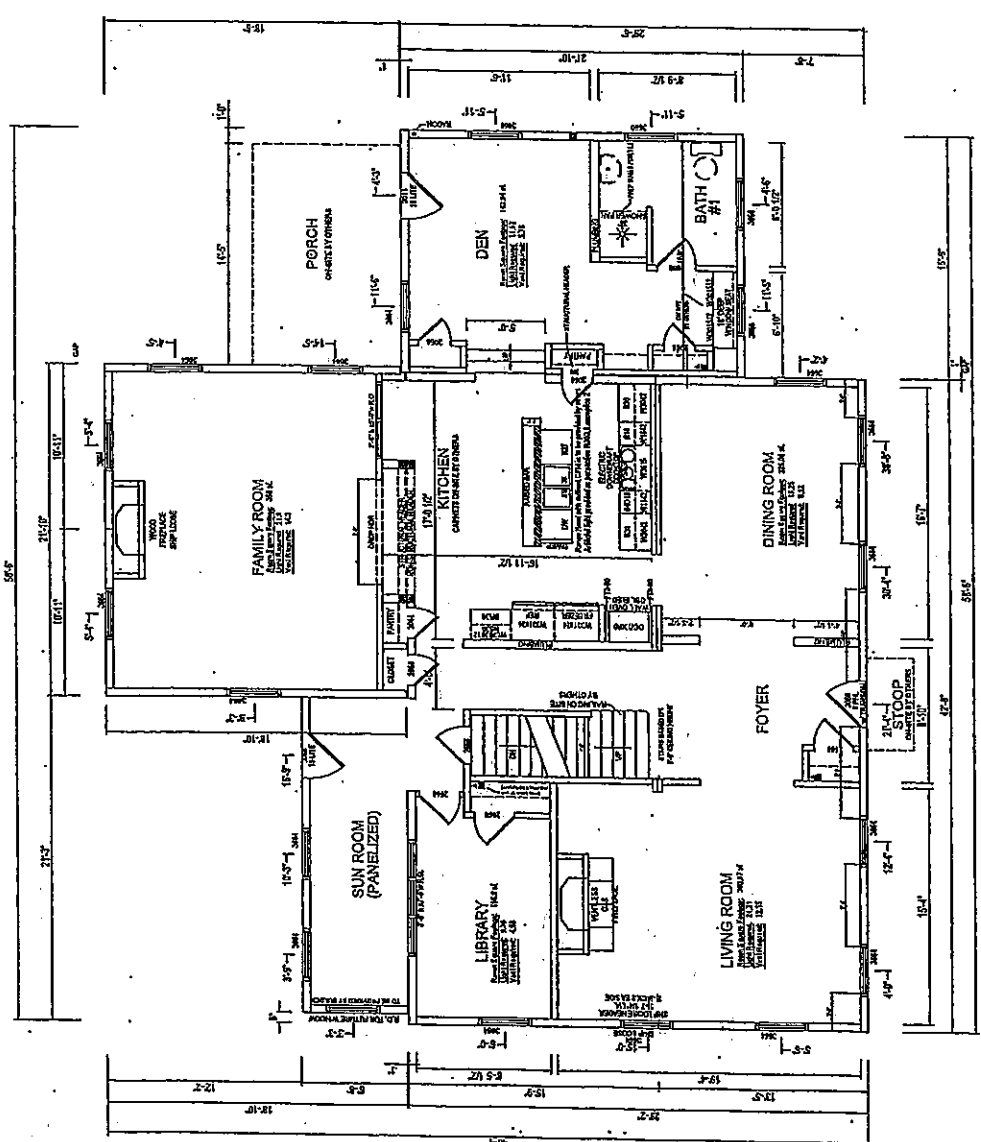
JUL 14 2011



Rev	By	Date	Description
1	CD	5/17/11	Initial Design
2	CD	5/17/11	Revised Design
3	CD	5/17/11	Final Design
4	CD	5/17/11	As-Built
5	CD	5/17/11	Final As-Built

Integrity Building Systems, Inc.	DEALER: CONVENIENT INSTALLATION	DATE: 5/24/10	MODEL: CUSTOM 2-STORY	CONTROL NUMBER	SUB-SET	TP
	CUSTOMER: MADISON	DRAWN BY: CDK	Scale: 1/8" = 1'-0"	C-484709-2		

Builder: Convenient Installation
 351 Thistle Ridge Lane
 Ranson, WV 25438
 304-278-0026



REV	DATE	DESCRIPTION
1	06/14/11	ISSUED FOR PERMITS
2	06/14/11	ISSUED FOR PERMITS
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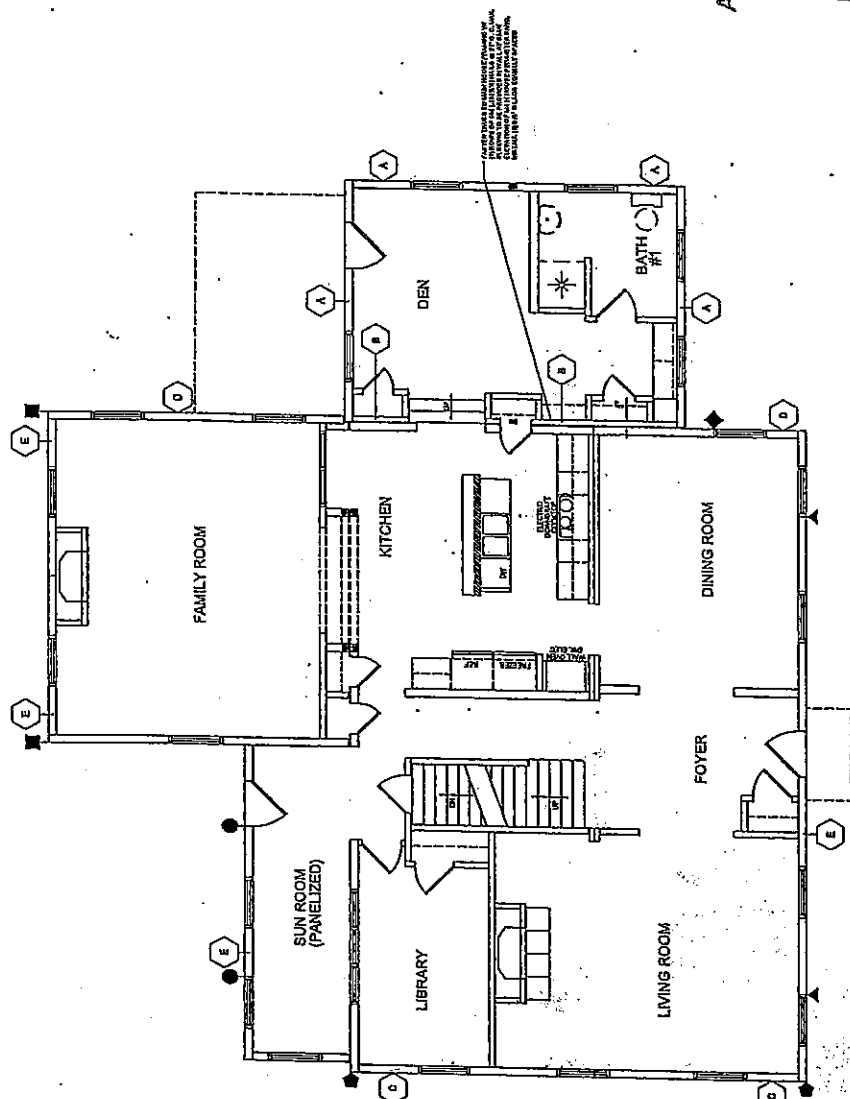
- ▲ STATE MODULAR LABEL
- NTA LABEL
- DATA PLATE

NOTE: ALL EXTERIOR WALLS TO HAVE R-11 INSULATION
NOTE: PRESSURE TREATED LUMBER TO BE USED FOR PERMITS BANDS
AT FAMILY ROOM, DEN, BATH #1, LIVING ROOM, PORCH

DP RATING: 25 MAX.

DEALER: CONVENIENT INSTALLATION		DATE: 5/24/10	MODEL: CUSTOM 2-STORY	CONTROL NUMBER C-484709-2	SUB-SET	A1
CUSTOMER: MADISON		DRAWN BY: CDK Scale: 1/8" = 1'-0"				

Integrity Building Systems, Inc.



- There's no such thing as a free lunch.** You can't have it all. You can't have the best of both worlds. You can't have it all and have it all. You can't have it all and have it all.

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[illegible]

187 LEVEL ENCKYALL & STONEWALL (MSB)

[illegible]

1ST LEVEL ENLOWALL MEN-ADJACENT TO MAIN HOUSE

THIRTY-THREE

1ST LEVEL ENDO WALL CUPBOARD / LIVING ROOM

(Treated 25) — (Treated 25) 100%
 (Treated 25) — (Treated 25) 100%

1ST LEVEL, BREAKALL (FAMILY/DINING ROOM)

THE

1ST LEVEL SIDEWALK PLANNING

1. $\frac{1}{2}$ of the total population

A

THE ABOVE LISTED FIRM DELIGHTS IN SERVING YOU IN ALL
OF YOUR BUSINESS NEEDS FOR QUALITY AND SERVICE. IT IS
LOCATED IN THE CITY OF NEW YORK, NEW YORK.

[illegible]

Product **Indication**

author **editorial board**

Integrity Building Systems, Inc.

DEALER: CONVENIENT
CUSTOMER: MADISON

DEALER: CONVENIENT INSTALLATION

DATE: 5/24/10
DRAWN BY: CDK

DATE: 5/24/10 | MODEL:

MODEL: CUSTOM-2-STORY

COM-2-STORY

CONTROL NUMBER
C-484709-2

SUB-SET

Revision By	Description	Date
P. cdc	initial review of the document	1/19/11
G. jls	changed the document title and the work	3/23/11
H. jls	added the document title and the work	3/23/11
T. jls	added the document title and the work	4/11/11
J. jls	added the document title and the work	4/11/11
K. jls	added the document title and the work	4/11/11
L. jls	added the document title and the work	4/11/11
H. jls	added the document title and the work	4/11/11
G. jls	added the document title and the work	4/11/11
C. jls	added the document title and the work	4/11/11
O. jls	added the document title and the work	4/11/11

SUB-SET	A2
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CONTROL NUMBER
C-484709-2

TOM 2-STORY
Scale: 1/8" = 1'-0"

MODEL: CUC

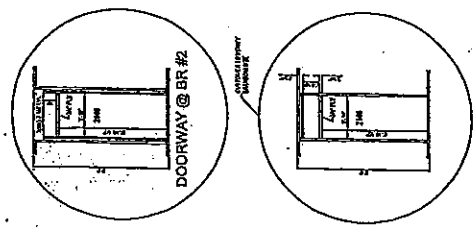
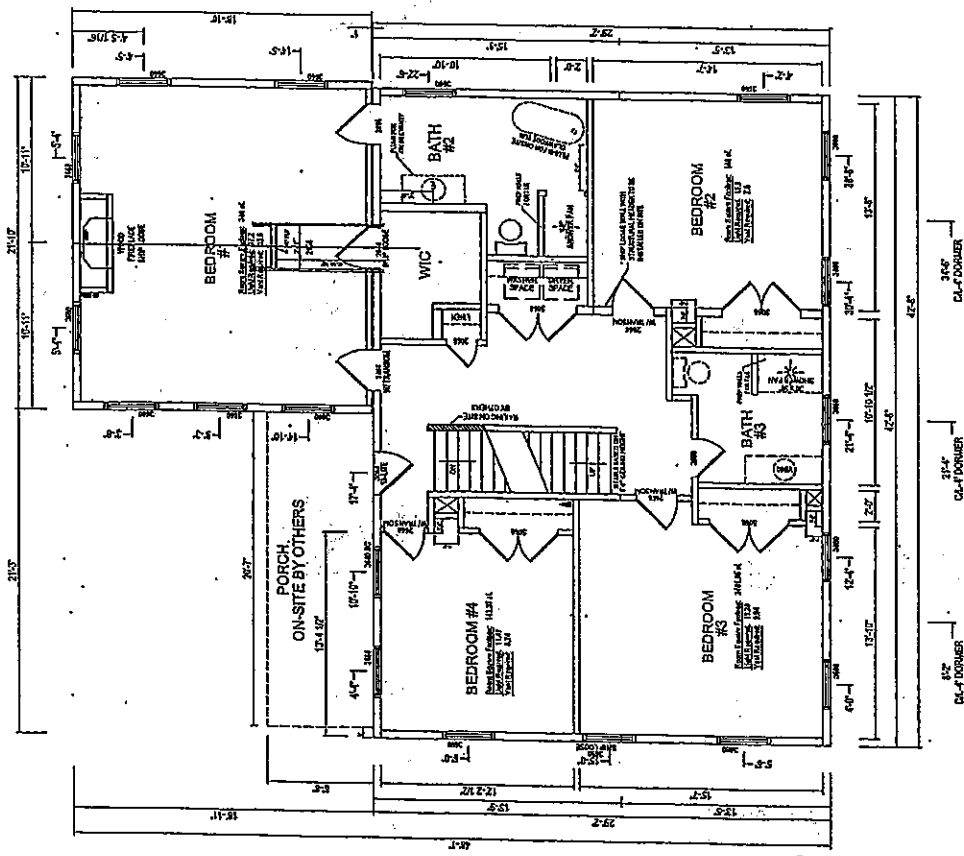
DATE: 5/24/10
DRAWN BY: CDK

INSTALLATION

DEALER: CONVENIENT
CUSTOMER: MADISON

Integrity Building Systems, Inc.

[illegible]



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JUL 14 2011

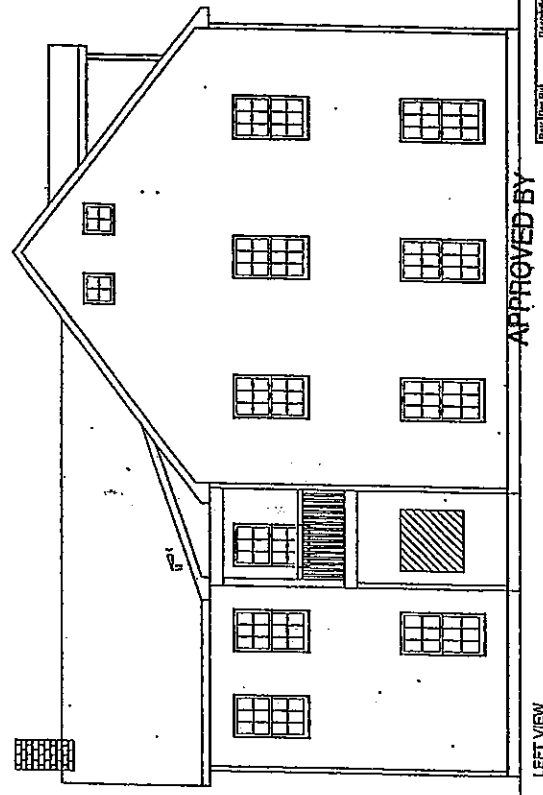
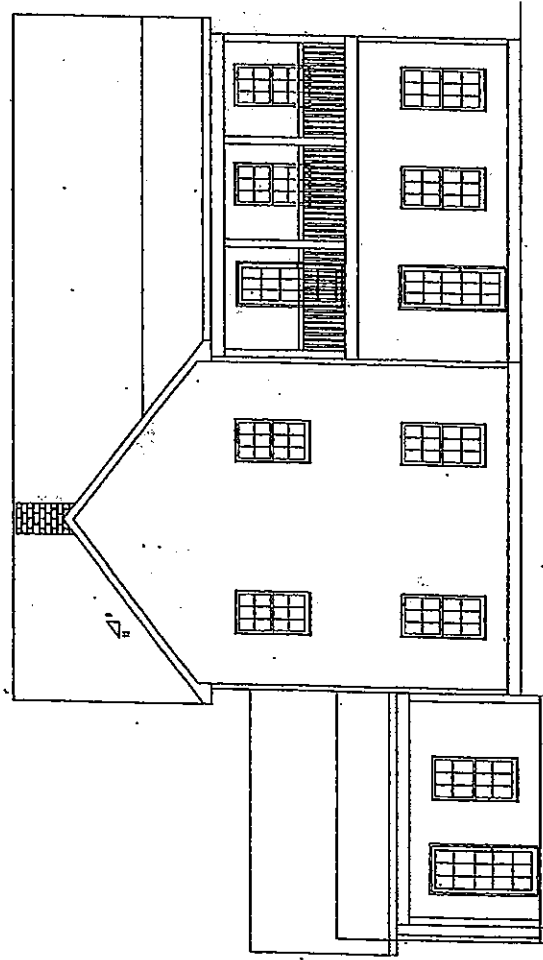
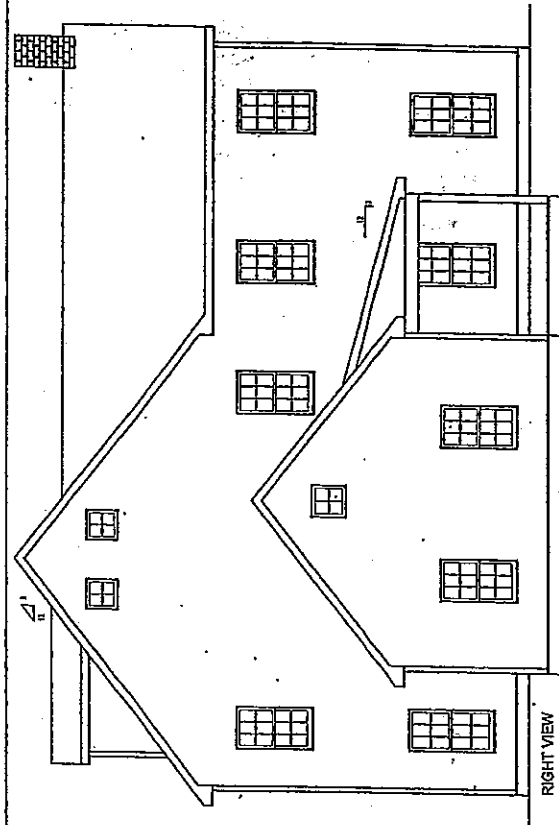
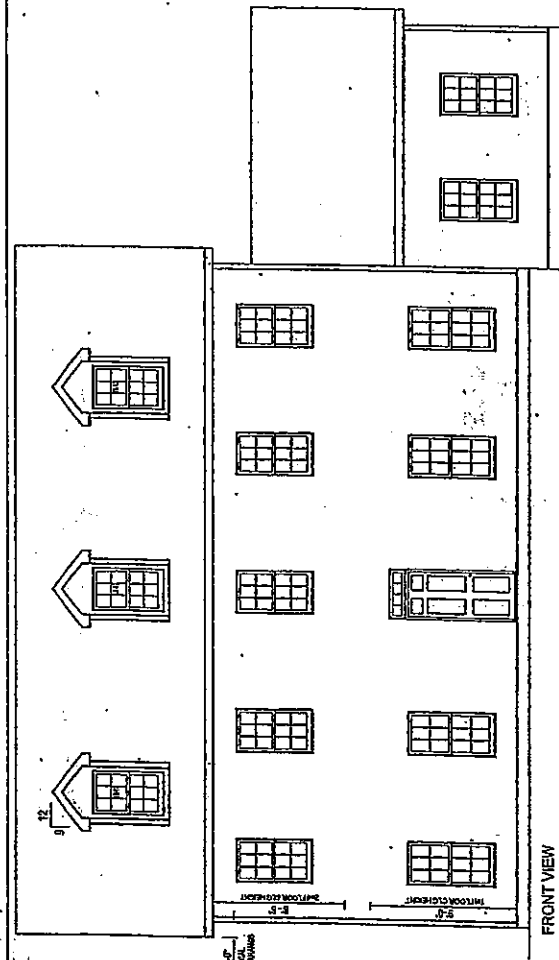


2nd FLOOR
8'-6" CEILING

Rev	Qty	Description	Unit	Notes
1	1	2nd Floor Ceiling	Sq. Ft.	8'-6" Ceiling
2	1	2nd Floor Walls	Sq. Ft.	8'-6" Ceiling
3	1	2nd Floor Floor	Sq. Ft.	8'-6" Ceiling
4	1	2nd Floor Windows	Sq. Ft.	8'-6" Ceiling
5	1	2nd Floor Doors	Sq. Ft.	8'-6" Ceiling
6	1	2nd Floor Stairs	Sq. Ft.	8'-6" Ceiling
7	1	2nd Floor Bathrooms	Sq. Ft.	8'-6" Ceiling
8	1	2nd Floor Bedrooms	Sq. Ft.	8'-6" Ceiling
9	1	2nd Floor Hallway	Sq. Ft.	8'-6" Ceiling
10	1	2nd Floor Porch	Sq. Ft.	8'-6" Ceiling
11	1	2nd Floor Closets	Sq. Ft.	8'-6" Ceiling
12	1	2nd Floor WIC	Sq. Ft.	8'-6" Ceiling
13	1	2nd Floor Stairs	Sq. Ft.	8'-6" Ceiling
14	1	2nd Floor Bathrooms	Sq. Ft.	8'-6" Ceiling
15	1	2nd Floor Bedrooms	Sq. Ft.	8'-6" Ceiling
16	1	2nd Floor Hallway	Sq. Ft.	8'-6" Ceiling
17	1	2nd Floor Porch	Sq. Ft.	8'-6" Ceiling
18	1	2nd Floor Closets	Sq. Ft.	8'-6" Ceiling
19	1	2nd Floor WIC	Sq. Ft.	8'-6" Ceiling
20	1	2nd Floor Stairs	Sq. Ft.	8'-6" Ceiling
21	1	2nd Floor Bathrooms	Sq. Ft.	8'-6" Ceiling
22	1	2nd Floor Bedrooms	Sq. Ft.	8'-6" Ceiling
23	1	2nd Floor Hallway	Sq. Ft.	8'-6" Ceiling
24	1	2nd Floor Porch	Sq. Ft.	8'-6" Ceiling
25	1	2nd Floor Closets	Sq. Ft.	8'-6" Ceiling
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28	1	2nd Floor Bathrooms	Sq. Ft.	8'-6" Ceiling
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49	1	2nd Floor Bathrooms	Sq. Ft.	8'-6" Ceiling
50	1	2nd Floor Bedrooms	Sq. Ft.	8'-6" Ceiling

integrity Building Systems, Inc.	DEALER: CONVENIENT INSTALLATION	DATE: 5/24/10	MODEL: CUSTOM 2-STORY	CONTROL NUMBER	SUB-SET	A2
	CUSTOMER: MADISON	DRAWN BY: CDK	Scale: 1/8" = 1'-0"	C-484709-2		

NOTE: ALL INTERIOR WALLS TO HAVE R-11 INSULATION



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Rev	Dim	By	Description	Date
1	0	0	Initial Design	05/24/10
2	0	0	Revised Design	06/01/10
3	0	0	Final Design	06/01/10
4	0	0	As-Built	06/01/10
5	0	0	Final As-Built	06/01/10
6	0	0	Final As-Built	06/01/10
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JUL 14 2011



CONTROL NUMBER
C-484709-2

DATE: 5/24/10
MODEL: CUSTOM 2-STORY
DRAWN BY: CDK

DEALER: CONVENIENT INSTALLATION
CUSTOMER: MADISON

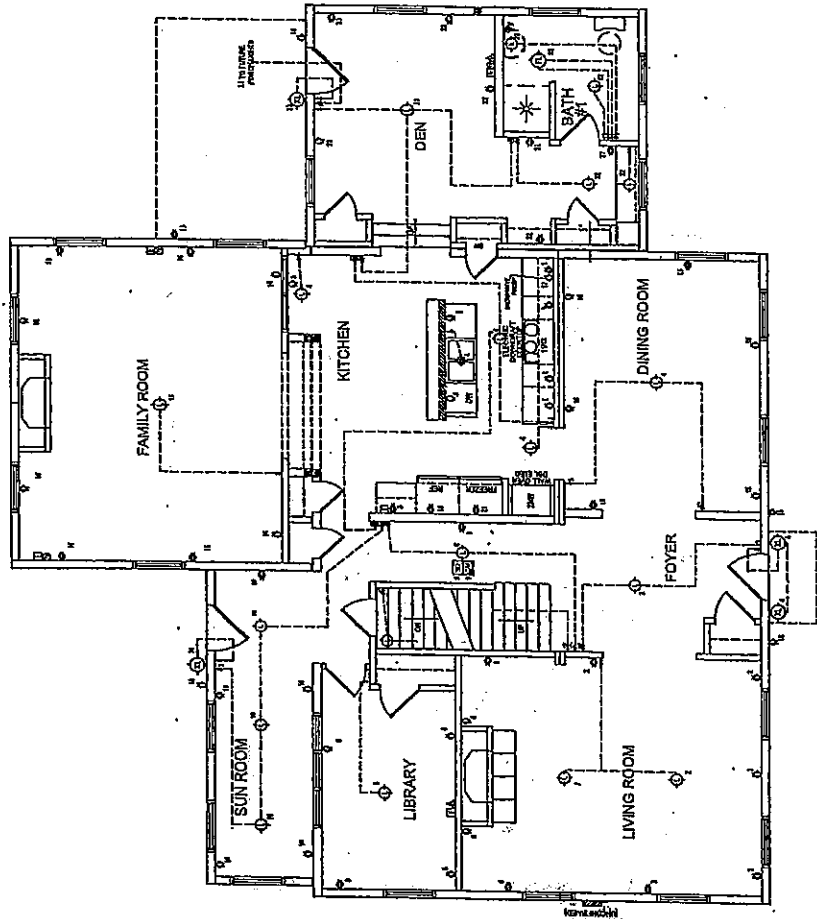
Integrity Building Systems, Inc.

SUB-SET

EL1

Scale: 1/8" = 1'-0"

WINDOW GOODS
OPTIONAL - HERITAGE SPEC
STANDARD - INTEGRA SPEC



- LEGEND**
- INTERLUCK (WATERPROOF)
 - OUTLET
 - SWITCH
 - SMOKE DETECTOR
 - TRIMMER
 - SEWAGE
 - COAL LINE
 - WATER SERVICE
 - GAS LIGHT
 - STOVE LIGHT
 - TV JACK
 - PHONE JACK
 - JUNCTION BOX
 - FULL-COMM LIGHT
 - RECESSED LIGHT

TYPICAL PANEL BOX SCHEDULE (200 AMP)

CIRCUIT DESCRIPTION	BREAKER WIRE	CIRCUIT DESCRIPTION	BREAKER WIRE
1 KITCHEN GFCI	20 AMP 12-2	2 GEN LIGHT AFCI	15 AMP 14-2
3 KITCHEN GFCI	20 AMP 12-2	4 GEN LIGHT AFCI	15 AMP 14-2
5 WASHING GFCI	20 AMP 12-2	6 GEN LIGHT AFCI	15 AMP 14-2
7 WASHING GFCI	20 AMP 12-2	8 GEN LIGHT AFCI	15 AMP 14-2
9 WASHING GFCI	20 AMP 12-2	10 GEN LIGHT AFCI	15 AMP 14-2
11 ELEC RANGE	40 AMP 8-3	12 DRYER	30 AMP 10-3
13 DINING ROOM	20 AMP 12-2	14 DENT FAN DM	15-2
15 MICROWAVE	20 AMP 12-2	16 EXT GFCI	20 AMP 12-2
17 REFRIG	20 AMP 12-2	18 DISHWASHER	20 AMP 12-2
19 FREEZER	20 AMP 12-2	20 GEN LIGHT AFCI	15 AMP 14-2
21 RANGE	20 AMP 12-2	22 WATER HEATER	30 AMP 10-2
23 RANGE	20 AMP 12-2	24 GEN LIGHT AFCI	15 AMP 14-2
25 ELEC WALL OVER	40 AMP 8-3	26 GEN LIGHT AFCI	15 AMP 14-2
27 GEN LIGHT AFCI	15 AMP 14-2	28 GEN LIGHT AFCI	15 AMP 14-2
29 GEN LIGHT AFCI	15 AMP 14-2	30 GEN LIGHT AFCI	15 AMP 14-2
31 GEN LIGHT AFCI	15 AMP 14-2	32 BATH GFCI (2ND)	20 AMP 12-2
33 BATH GFCI	20 AMP 12-2	34 BATH GFCI	20 AMP 12-2
35 SPARE		36 SPARE	
37 SPARE		38 SPARE	

(HVAC EQUIPMENT TO BE SUPPLIED AND INSTALLED IN FIELD BY OTHERS)
 NOTE: WATERTIGHT RECEPTACLES ARE REQUIRED FOR ALL 125 VOLT,
 15 AND 20 AMP RECEPTACLES FOR 2008 NEC

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 NIA INC

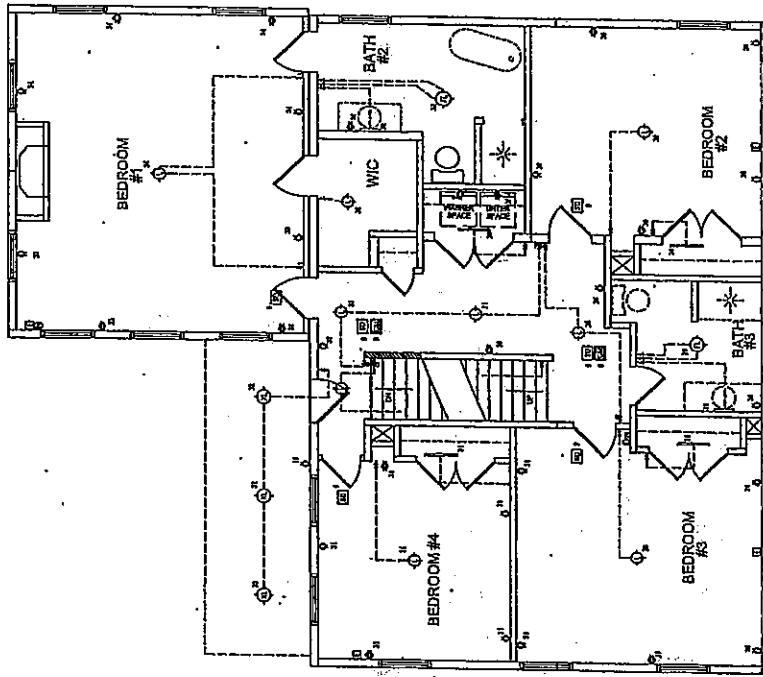
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DEALER: CONVENIENT INSTALLATION DATE: 5/24/10 MODEL: CUSTOM 2-STORY CONTROL NUMBER C-484709-2

CUSTOMER: MADISON DRAWN BY: CDK Scale: 1/8" = 1'-0"

SUB-SET E1

Integrity Building Systems, Inc.



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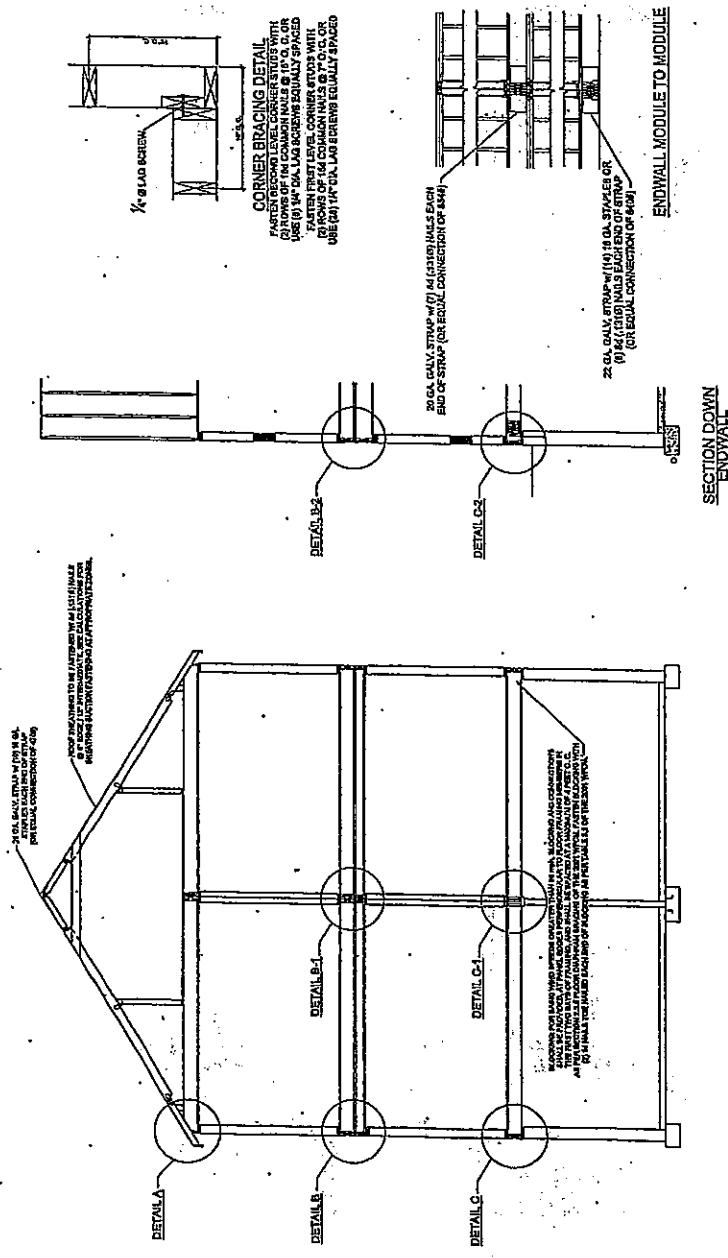
JUL 14 2011

NIA INC

Rev	By	Date
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100	CDK	7/14/11

DEALER: CONVENIENT INSTALLATION	DATE: 5/24/10	MODEL: CUSTOM 2-STORY	CONTROL NUMBER	SUB-SET	E2
CUSTOMER: MADISON	DRAWN BY: CDK	Scale: 1/8" = 1'-0"	C-484709-2		

Integrity Building Systems, Inc.



APPROVED BY

JUL 14 2011

NIA INC

REV	DATE	DESCRIPTION	BY	CHK
1	07/14/11	ISSUED FOR CONSTRUCTION	WJ	WJ
2	07/14/11	REVISION: 1/8\"	WJ	WJ
3	07/14/11	REVISION: 1/8\"	WJ	WJ
4	07/14/11	REVISION: 1/8\"	WJ	WJ
5	07/14/11	REVISION: 1/8\"	WJ	WJ
6	07/14/11	REVISION: 1/8\"	WJ	WJ
7	07/14/11	REVISION: 1/8\"	WJ	WJ
8	07/14/11	REVISION: 1/8\"	WJ	WJ
9	07/14/11	REVISION: 1/8\"	WJ	WJ
10	07/14/11	REVISION: 1/8\"	WJ	WJ

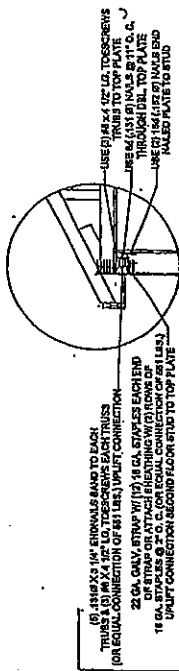
SUB-SET

CONTROL NUMBER
C-484709-2

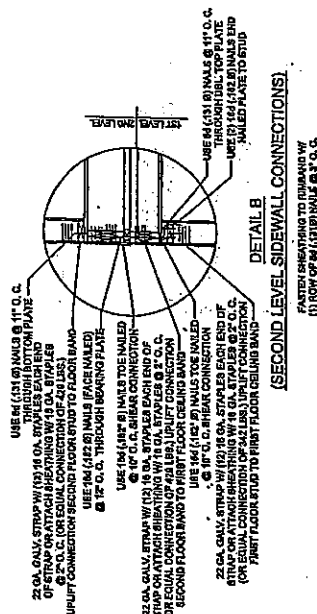
DATE: 6/24/10
MODEL: CUSTOM 2-STORY
DRAWN BY: CDK
Scale: 1/8" = 1'-0"

DEALER: CONVENIENT INSTALLATION
CUSTOMER: MADISON

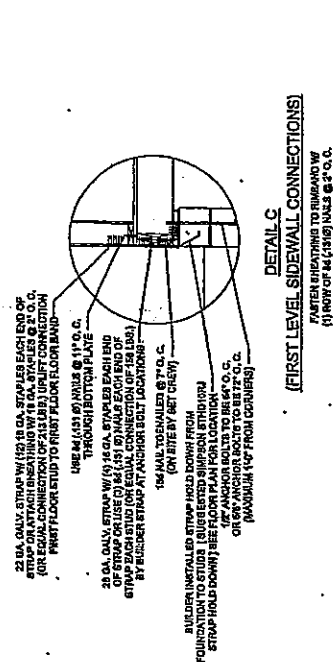
Integrity Building Systems, Inc.



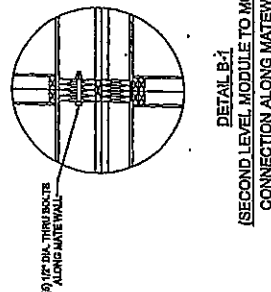
DETAIL A
(TRUSS CONNECTIONS)
ENDWALL: FASTEN TRUSS MEMBER TO TOP PLATE WITH 16 D1 (16) NAILS @ 12" O.C.



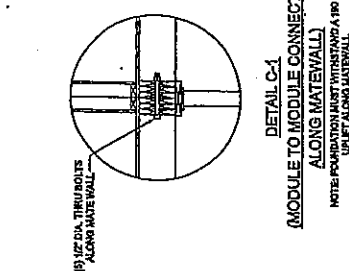
DETAIL B
(SECOND LEVEL SIDEWALL CONNECTIONS)
FASTEN SHEATHING TO RIBBAND WITH 16 D1 (16) NAILS @ 12" O.C.



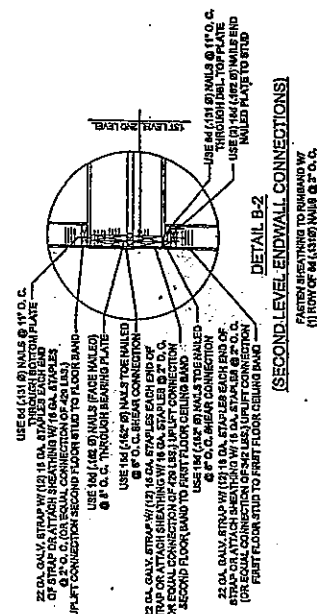
DETAIL C
(FIRST LEVEL SIDEWALL CONNECTIONS)
FASTEN SHEATHING TO RIBBAND WITH 16 D1 (16) NAILS @ 12" O.C.



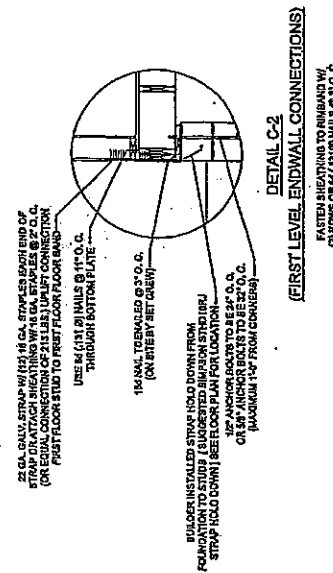
DETAIL B-1
(SECOND LEVEL MODULE TO MODULE CONNECTION ALONG MATERIAL)



DETAIL C-1
(MODULE TO MODULE CONNECTION ALONG MATERIAL)
NOTE: FOUNDATION MUST WITHSTAND 180 PLF UPLIFT ALONG MATERIAL



DETAIL B-2
(SECOND LEVEL ENDWALL CONNECTIONS)
FASTEN SHEATHING TO RIBBAND WITH 16 D1 (16) NAILS @ 12" O.C.



DETAIL C-2
(FIRST LEVEL ENDWALL CONNECTIONS)
FASTEN SHEATHING TO RIBBAND WITH 16 D1 (16) NAILS @ 12" O.C.

APPROVED BY
JUL 14 2011
NIA INC

Rev.	Com By	Description	Date
0	CDK	ISSUED FOR PERMIT	07/14/11
1	CDK	REVISION: ADD 16 D1 (16) NAILS @ 12" ON	07/14/11
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3	CDK	REVISION: ADD 16 D1 (16) NAILS @ 12" ON	07/14/11
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100	CDK	REVISION: ADD 16 D1 (16) NAILS @ 12" ON	07/14/11



Integrity-Building

Integrity-Building Systems, Inc.

Electrical Load Calculation:

Date: 5/17/11 Performed By: CDK

Mfg: Integrity Building Systems

Project: va

Model: C484709-2

Air Conditioning	(x 1.0) *	<u>0</u>
Central Electric Space Heating	(x .65) *	<u>0</u>
Less Than Four Separately Controlled Electric Space Heating Units	(0 x .65) *	<u>0</u>
Four or More Separately Controlled Electric Space Heating Units	(0 x .40) *	<u>0</u>

* Use the larger of the air-conditioning or the diversified demand of the heating load.

Other Loads:

	AREA	Watts or Volt-Amps	Circuit Ampacity	Wire Size
General Lighting	3798	11394	15	14-2
Small Appliances (5 x 1500)		7500	20	12-2
Range		12000	40	8-3
Dishwasher		1200	20	12-2
Garbage Disposal		600	20	12-2
Washer		1500	20	12-2
Dryer		5000	30	10-3
Furnace		1500	20	12-2
Water Heater		4500	25	10-2
Other				

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Subtotal: 45194

First 10 KW of other loads @ 100% = 10000

Remainder of other loads @ 40% (35194 x .40) = 14078

Heat Above: 0

Total Calculated Load: = 24078

Required Service Size: 24078 ÷ 240 = 100 Amps

Installed Panel Size = 200 Amps

*HVAC system installed in field by builder

Job 59672	Truss CC800701	Truss Type HINGED ATTIC	Qty 1	Ply 1	Integrity Building Systems (L2110-9M) 21' 10" wide 9/12 cape Designed by ATM 274
Universal Forest Products Inc., Grand Rapids, MI 49525, Andrew Mulisher					

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JUL 14 2011

NIA INC

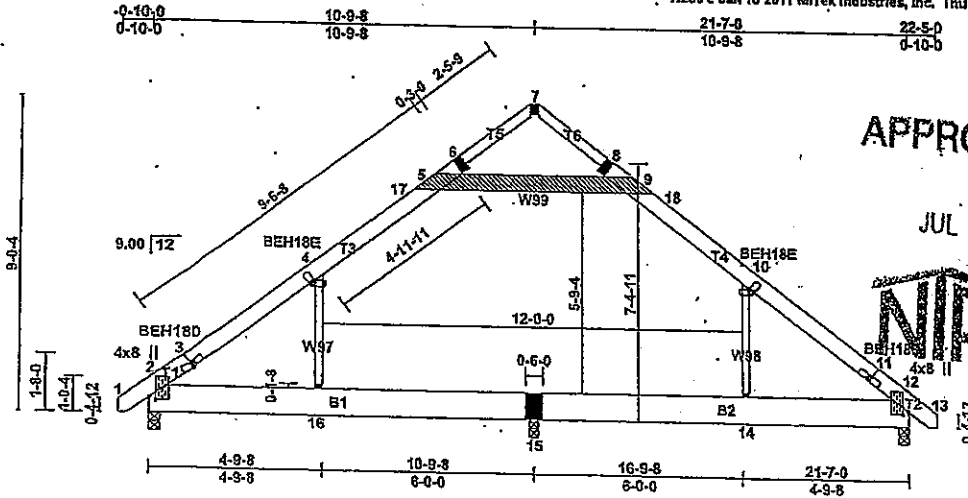


Plate Offsets (X,Y): [2:0-1-1,0-2-1], [3:0-0-11,0-1-2], [4:0-0-11,0-1-2], [10:0-0-11,0-1-2], [11:15-8-4,13-4-13], [12:0-1-1,0-2-1]									
SPACING: 2-0-0	SPACING: 1-4-0	SPACING	2-0-0	CSI	DEFL	In (loc)	l/defl	L/d	PLATES GRIP
LOADING (psf)	LOADING (psf)	Plates Increase	1.15	TC 0.49	Ver(L/L)	-0.12 15-16	>999	240	MT20 197/144
TCLL 30.8	TCLL 46.2	Lumber Increase	1.15	BC 0.56	Ver(T/L)	-0.18 15-16	>693	180	MT18 141/138
(Ground Snow=40.0)	(Ground Snow=60.0)	Rep Stress Incr	YES	WB 0.27	Horz(T/L)	0.01 12	n/a	n/a	
TCDL 7.0	TCDL 10.5	Code IBC2009/TP12007		(Matrix)	Attic	-0.12 15-16	1220	360	Weight: 114 lb
BCLL 0.0 *	BCLL 0.0 *								FT = 0%
BCDL 10.0	BCDL 15.0								

LUMBER
TOP CHORD 2 X 6 SPF No.2 *Except*
 T5,T6: 2 X 4 SPF No.2
BOT CHORD 2 X 10 SPF No.2
WEBS 2 X 3 SPF Stud *Except*
 W99: 2 X 6 SPF No.2

BRACING
TOP CHORD
BOT CHORD Structural wood sheathing directly applied or 6-0-0 oc purlins.
 Rigid ceiling directly applied or 10-0-0 oc bracing.

REACTIONS (lb/size) 2=916/0-3-8 (min. 0-1-8), 12=916/0-3-8 (min. 0-1-8), 15=654/0-3-0 (min. 0-1-8)
 Max Horz 2=344(LC 7)
 Max Uplift 2=348(LC 8), 12=349(LC 10), 15=82(LC 9)
 Max Grav 2=972(LC 2), 12=972(LC 2), 15=667(LC 14)

FORCES (lb) - Maximum Compression/Maximum Tension.
TOP CHORD 1-2=0/25, 2-3=872/285, 3-4=722/270, 4-17=782/341, 5-17=641/354, 5-6=233/69, 6-7=127/78, 7-8=125/77, 8-9=237/69, 9-18=638/354, 10-18=783/341, 10-11=722/269,
 11-12=872/283, 12-13=0/25
BOT CHORD 2-16=130/588, 15-16=126/586, 14-15=126/586, 12-14=124/588
WEBS 10-14=449/373, 4-16=453/374, 5-9=485/367

REQUIRED FIELD JOINT CONNECTIONS - Maximum Compression (lb)/ Maximum Tension (lb)/ Maximum Shear (lb)/ Maximum Moment (lb-in)
 5=485/367/270, 6=19072/94/0, 7=10279/93/0, 8=19271/95/0, 9=485/367/270, 14=449/373/0/0, 15=126/586/400/0, 16=453/374/0/0

- NOTES**
- 1) Wind: ASCE 7-05: 100mph @24in o.c.; TCDL=2.8psf; BCDL=4.0psf; (Alt. 122mph @16in o.c.; TCDL=4.2psf; BCDL=6.0psf); h=30ft; Cat. II; Exp C; enclosed; MWFRS (low-rise) gable end zone and C-C Exterior(2) zone; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
 - 2) TCLL: ASCE 7-05; Pg=40.0 psf (ground snow); Ps=30.8 psf (roof snow); Category II; Exp C; Partially Exp.; Ct=1.1
 - 3) Roof design snow load has been reduced to account for slope.
 - 4) Unbalanced snow loads have been considered for this design.
 - 5) This truss has been designed for greater of min roof live load of 15.0 psf or 2.00 times flat roof load of 30.8 psf on overhangs non-concurrent with other live loads.
 - 6) This truss has been designed for basic load combinations, which include cases with reductions for multiple concurrent live loads.
 - 7) All plates are MT20 plates unless otherwise indicated.
 - 8) See BEH18 DETAILS for plate placement.
 - 9) Provisions must be made to prevent lateral movement of hinged member(s) during transportation.
 - 10) All additional member connections shall be provided by others for forces as indicated.
 - 11) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
 - 12) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
 - 13) Ceiling dead load (5.0 psf) on member(s). 4-5, 9-10, 5-9
 - 14) Bottom chord live load (30.0 psf) and additional bottom chord dead load (0.0 psf) applied only to room. 15-16, 14-15
 - 15) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 348 lb uplift at joint 2, 349 lb uplift at joint 12 and 82 lb uplift at joint 15.
 - 16) This truss has been designed in accordance with the 2009 IBC Section 2303.4.6, 2009 IRC Section 802.10.2.
 - 17) Attic room checked for L/360 deflection.
 - 18) If shown, field installed members are an integral part of this design. To ensure proper performance, all field installed members must be installed prior to applying any loading to the truss.
 - 19) Take precaution to keep the chords in plane, any bending or twisting of the hinge plate must be repaired before the building is put into service.
 - 20) Truss has been designed per 2006 IBC Sec. 2303.4.2; 2006 IRC Sec. 802.10.2.

E-signed by Kevin Freeman



WARNING - Verify design parameters and READ NOTES

This building component has only been designed for the loads noted on this drawing. Construction and lifting forces have not been considered. The builder is responsible for lifting methods and system design. Builder responsibilities are defined under TPI. This design is based only upon parameters shown, and is for an individual building component to be installed and loaded vertically. Applicability of design parameters and proper incorporation of component is responsibility of building designer - not truss designer. Bracing shown is for lateral support of individual web members only. Additional temporary bracing to insure stability during construction is the responsibility of the erector. Additional permanent bracing of the overall structure is the responsibility of the building designer. For general guidance regarding fabrication, quality control, storage, delivery, erection and bracing, consult BCS1-1-06 from the Wood Truss Council of America and Truss Plate Institute Recommendation available from WTCA, 6300 Enterprise LN, Madison, WI 53719. J:\support\Mitek\Supp\templates\wfp_lpe.cop copyright 2011 by: Universal Forest Products, Inc.

Universal Forest Products, Inc. 2801 EAST BELTLINE RD, NE
 PHONE (616)-364-6161 FAX (616)-365-0060 GRAND RAPIDS, MI 49525

Leatherby, Eric (DHCD)

From: Hunter Madison [huntermadison2002@yahoo.com]
Sent: Monday, April 09, 2012 6:27 PM
To: Davis, Cindy (DHCD); Leatherby, Eric (DHCD)
Subject: Fw: stairs

The house was set on July 20th.

----- Forwarded Message -----

From: Martin Sickle <MartyS@integritybuild.com>
To: Hunter Madison <huntermadison2002@yahoo.com>
Sent: Sunday, July 17, 2011 2:43 PM
Subject: RE: stairs

I will send the details to you on Monday morning.

Martin Sickle

V.P. Sales & Marketing
Integrity Building Systems, Inc.
2435 Housels Run Road
Milton, PA 17847
Phone (800) 553-4402 Ext. 3629
Cell Phone (570) 274-3031
Fax: (570) 522-0089
msickle@integritybuild.com
www.integritybuild.com

Success is not what you get; it is what you become

From: Hunter Madison [mailto:huntermadison2002@yahoo.com]
Sent: Sun 7/17/2011 6:48 AM
To: Martin Sickle
Subject: RE: stairs

What is the size/width of the stairwell down to the basement? I plan on ordering stairs Monday morning which I assume that I need get unless the house is coming with it?

What is the status of the stairs getting up to the attic? The stair people say I need a 5' 6" box to get up there via spiral.

M

--- On Fri, 7/15/11, Martin Sickle <MartyS@integritybuild.com> wrote:

From: Martin Sickle <MartyS@integritybuild.com>
Subject: RE: stairs, floor joist height, chimney, code, staging area
To: "Hunter Madison" <huntermadison2002@yahoo.com>
Date: Friday, July 15, 2011, 6:20 PM

Malari
See below

Martin Sickle

Leatherby, Eric (DHCD)

From: Hunter Madison [huntermadison2002@yahoo.com]
Sent: Sunday, May 27, 2012 6:37 AM
To: Pat O'Toole
Cc: Duff, Judy (DPOR); Davis, Cindy (DHCD); Leatherby, Eric (DHCD)
Subject: Patrick O'Toole, 022760, #2012-01905 (NTA/Milton/Convenient Installations)
Attachments: MadisonStair.pdf

Dear Mr. O'Toole,

Your e-mail states: "Here is a copy of the cross section showing the location of the spiral stair. As laid out it is not necessary to cut the mating wall beams. Also enclosed is the framing markup I did to support the opening." I am trying to understand why your plan misrepresents what is/was already built.

The spiral stair plan, was brought to this house (without approval by the county or me) and Integrity staff demolished the wall leading up to the attic and were about to cut into the floor back to the marriage wall. I did not know they were intending to proceed with the plan and did not know they would be "found" in the house. They had your plan in hand and were relying upon it IN FULL. After some discussion, Integrity staff realized the drawing was not feasible. Hot electrical wires were left dangling from the ceiling. The wall was removed leaving a large "chimney" chute to the third floor that was dangerous and allows for complete heat loss.

DHCD has been here to view the open code violations. Complaints against Convenient Installations, Integrity (now Milton) and NTA have been filed with DPOR. **(I am copying them on this as it may assist in the investigation. It is appropriate to understand your part in this matter.)**

The plan from Woodwise is not acceptable as it utilizes too much space and was conditionally acceptable on a rapid and full settlement which did not occur. The house was planned and intended to enjoy a 4 foot wide staircase to the third floor not an after the fact patch job that detracts from the overall house and functionality.

Your engineered drawing was being passed off as a finished and viable solution and Integrity relied upon it to perform work on the house without approval or license to perform such work.

According to my insurance company, the replacement cost for this house is \$895,000. I will seek full recovery and damages.

Milari Madison

From: Pat OToole <pmo5757@sbcglobal.net>
To: Hunter Madison <huntermadison2002@yahoo.com>
Sent: Friday, May 25, 2012 2:30 PM
Subject: Re: Stair

The markup that you're referring at the bottom of this e-mail was an initial proposal done in Aug. / Sept. 2011 and was rejected, so the plans were never finalized. Last I knew, the design agreed upon and used was done by Woodwise, Inc. and approved by the Loudoun County Building Department in November 2011.

--- On Thu, 5/24/12, Hunter Madison <huntermadison2002@yahoo.com> wrote:

From: Hunter Madison <huntermadison2002@yahoo.com>
Subject: Re: Stair
To: "Pat OToole" <pmo5757@sbcglobal.net>
Date: Thursday, May 24, 2012, 2:12 PM

Mr. O'Toole,

My house fails to meet code and I cannot obtain an occupancy permit mostly because of the various stairs in the house.

Your drawing seems to indicate that the 2x10 and 2 x 8 need to be extended to catch the pole. In reality, in order to clear the center marriage beam (not cut it), the necessary extension of the 2x10 and 2 x8 would leave 69" of head clearance from the first floor stairs, not the 6'8" that you show.

I wonder why the drawing you provided is so dramatically different than the existing product as built and installed?

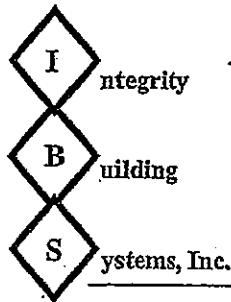
Milari Madison

From: Pat OToole <pmo5757@sbcglobal.net>
To: huntermadison2002@yahoo.com
Cc: Richard Rowe <DickR@integritybuild.com>
Sent: Friday, September 2, 2011 4:25 PM
Subject: Stair

Here is a copy of the cross section showing the location of the spiral stair. As laid out it is not necessary to cut the mating wall beams. Also enclosed is the framing markup I did to support the opening.

As requested, I did contact Dick Rowe. He was in the middle of drafting a letter to you. I requested that someone give you a call. At any rate, you should be hearing from him either via letter or phone in the next few days.

Pat



We build upon our name

2435 Housels Run Road, Milton, PA 17847
Phone (570) 522-3600 Fax (570) 522-0089

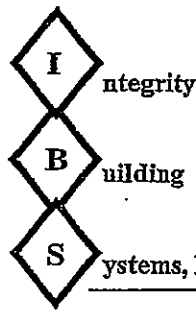
September 2, 2011

Hunter and Milari Madison
40153 Janey Street
Waterford, VA 20197

Dear Hunter and Milari:

We have reviewed your email of August 30, 2011 and have made the following determinations regarding Integrity Building Systems responsibility as it relates to those concerns listed.

1. Our engineering consultant is presently reviewing the structural integrity of the west wing wall regarding its ability to support the addition of a site applied brick facing. We will provide you with PE stamped calcs and details once we receive.
2. When our service people are onsite we will have them remove any of the chimney sheathing that you want off for accessibility to facilitate installation of the metal chimney sections provided. We will not however install the chimney pipe since this a Builder responsibility and as such not part of our contract. You have requested that we provide a wye fitting to join both chimney's. This cannot be accomplished. Attached you will find a page from the fireplace manufacturers owners manual, which indicates that each fireplace must be separately vented. Copies of the complete owners manual are provided with each fireplace.
3. We will look at and correct any improperly (factory) installed window sills and interior doors. We will correct the situation with the pantry door by applying drywall to the header and lowering the ceiling of the pantry to the bottom of the header. The wide jamb will be replaced with a 6" jamb and we will return drywall on the 4" wall of the den. We cannot omit the header since it is a structural requirement. However we will not install those doors that were shipped loose for builder installation.
4. Integrity Building Systems will not assume any liability in repairing or replacing any flooring, insulation, sheet rock, or any other materials reported to be damaged by water intrusion into the home.
5. We will extend the left side overhang to 14" (approx.) to match the overhang on the right side. However misalignment of fascia boards due to improper alignment of modules; during setting on the foundation, is builder responsibility to correct.
6. Integrity Building Systems will construct and install the 3 riser oak stair to access the den area. We need the measurement between floors and the thickness of each finish floor in both the kitchen and den.
7. Closing off the underside of the south wall of the west wing, or any other area where the floor cantilevers the foundation is the builders responsibility.
8. Integrity Building Systems will install those sections of wall sheathing that were shipped loose to cover the seams between connecting modules, or that were left loose for wiring or plumbing interconnections. However this was the responsibility of the set crew toward making the home weathertite.
9. Integrity Building Systems service personnel will be instructed to cleanup after completing any repairs, and to check those area's in which repairs were previously completed and cleanup if not already taken care of.



ntegrity

uilding

ystems, Inc.

We build upon our name

2435 Housels Run Road, Milton, PA 17847
Phone (570) 522-3600 Fax (570) 522-0089

10. Please have your electrical contractor contact our service manager Bill Seagrist so that we can go over the electrical hookup requirements. Normally we can resolve minor electrical issues in this way without sending someone into the field. Please make sure your electrician has the shop electrical plans that were provided inside your electrical panel box.
11. According to the order confirmation signed by Darren McNutt the fireplace in the living room was to have a raised hearth. Any issues you have with this need to be conveyed to Mr. McNutt for correction or compensation not IBS.
12. Integrity Building Systems has provided you with information on requirements to replace the wood column in the living room wall with a steel column. Since the wood column had been shown on the plans that were approved for construction we will not assume any responsibility for making this repair.
13. In regards to the attic stairs, our position is that we will complete all the necessary repairs to reverse the run of both sets of stairs as discussed. Integrity Building Systems will adjust all floor and ceiling openings as required, rebuild all stair walls, relocate affected electrical components, and modify the existing first floor stairs by replacing extended treads, extended risers, and side stringers. If this is not acceptable, and you decide on proceeding with spiral stairs, Integrity Building Systems will provide you with a check for \$2500.00 toward the purchase and installation of those stairs.

Our position is simple. The performance agreement that we both signed did not require Integrity Building Systems to assume those responsibilities normally associated with the builder, nor did we receive any payment to do so. We were not a party in your contract with Convenient Installation, thus not knowing all the terms and conditions associated with your purchase of the home from same. While we are not going to assume the liability of other parties; such as making the structure weather tight, until at such time the exterior finish materials can be applied, we will not avoid those issues that we acknowledge as the responsibility of Integrity Building Systems.

Sincerely,

A handwritten signature in cursive script, appearing to read 'Richard R. Rowe Jr.'.

Richard R. Rowe Jr.
President
Integrity Building Systems

Billy's Electrical Service, Inc.
 23707 Parsons Road
 Middleburg, VA 20117
 (540) 687-6226

Invoice

Date	Invoice #
10/7/2011	16449

Bill To
PAUL & MILARI MADISON 39638 RICKARD ROAD LOVETTSVILLE, VA 20180-3302

P.O. No.	Terms	Project
	Due on Receipt	

Quantity	Description	Rate	Amount
1	SEPTEMBER 12, 2011: MATERIAL AND LABOR TO BEGIN MAKING UP JUNCTION BOXES IN BASEMENT; PULL HOME RUNS TO PANEL AREA; REMOVED FRONT DOOR RECEPTACLES DUE TO BRICK AND RECEPTACLES NEED TO BE LOWERED; INSTALL BOXES IN BASEMENT FOR LIGHTS, WIRED UP BASEMENT LIGHTS, INSTALLED SWITCHES.	850.00	850.00
1	SEPTEMBER 13, 2011: MATERIAL AND LABOR TO MAKE UP JUNCTION BOXES IN BASEMENT AFTER SORTING THROUGH REMAINING WIRES; WIRE UP SUN ROOM AREA; CHANGED SWITCH BETWEEN CLOSET DOORS AT KITCHEN AREA ON FIRST FLOOR TO ALLOW FOR TRIM/STACK SWITCH TO OPERATE; CUT OUT RECESSED LIGHT IN KITCHEN, DELETED WIRES FOR UNDER CABINET LIGHTS, HOOD FAN AND RECEPTACLE UNDER STOVE; FISHED WALL AND PROPERLY INSTALLED WIRE FOR UNDER CABINET LIGHTS WITH SWITCH FEED, MAKE UP JUNCTION BOX IN CABINET FOR UNDER CABINET LIGHTS; WIRED FOR HOOD FAN; RANG OUT THREE-WAY FOR SUN ROOM AND HOOKED INTO NEW SWITCH BOX AT SUN ROOM BACK DOOR.	1,896.00	1,896.00
1	SEPTEMBER 14, 2011: MATERIAL AND LABOR TO MAKE UP JUNCTION BOXES IN ATTIC; TURN ON SECOND FLOOR RECEPTACLES; RELOCATE RECEPTACLES BEHIND CABINET; PULL NEW HOME RUNS TO DISHWASHER, MICROWAVE, FRONT DOOR RECEPTACLE, REAR RECEPTACLES, AND BATHROOM GFCI RECEPTACLE; TRACE OUT AND DELETE OLD WIRES ON PORCH; SET JUNCTION BOX ON OVEN; SET RECEPTACLE FOR STOVE; REPAIR RECEPTACLE IN DEN BATHROOM; WIRE UP LIGHTS ON PORCH; CHANGES BOXES (BOXES WITH PVC SLEEVES) ON FRONT OF HOUSE FOR BRICK; DRILLS HOLES FOR KITCHEN LIGHTS AND LOOP WIRES BETWEEN LIGHTS.	1,670.04	1,670.04
Pay online at: https://ipn.intuit.com/xrm5b929			
Invoices are due with in 15 days of billing date; if not customer shall be obligated to pay 2% interest per month, plus attorney's fee and court cost. Thank you for your business.		Total	

Billy's Electrical Service, Inc.
 23707 Parsons Road
 Middleburg, VA 20117
 (540) 687-6226

Invoice

Date	Invoice #
10/7/2011	16449

Bill To
PAUL & MILARI MADISON 39638 RICKARD ROAD LOVETTSVILLE, VA 20180-3302

P.O. No.	Terms	Project
	Due on Receipt	

Quantity	Description	Rate	Amount
1	SEPTEMBER 19, 2011: MATERIAL AND LABOR TO INSTALL GROUND WIRES IN PANEL; INSTALL COLD WATER GROUND WIRE; PULL FEEDS TO EXTERIOR AC UNITS, PULL FEEDS TO ATTIC UNIT-INSTALL DISCONNECTS AND WIRE UP, PULL FEEDS TO BASEMENT UNIT; HOOK UP CIRCUIT WIRES IN PANEL; PULLED HOME RUNS TO ATTIC AREA FOR ELECTRIC; PULL TV/TELEPHONE CABLE TO ATTIC AREA; PULLED BEDROOM SECOND FLOOR TV CABLE AND CUT IN BOX; INSTALLED LIGHT BOXES AND WIRED UP SECOND FLOOR PORCH AREA.	2,441.78	2,441.78
1	SEPTEMBER 21, 2011: MATERIAL AND LABOR TO CUT RECESSED LIGHT IN MASTER BATHROOM SHOWER, FISH WIRES TO SWITCH AND LIGHT, CUT IN SWITCH BOX, MAKE ALL CONNECTION; BUILD WALL TO MOUNT DISCONNECTS AT UNIT IN BASEMENT, WIRE UP DISCONNECTS AND UNIT; RAN CIRCUIT FOR BASEMENT UNIT CONDENSATION PUMP, SET BOX AND OUTLET; LOWER DOWN PORCH LIGHTS AS REQUESTED BY CARPENTER TO ALLOW FOR CEILING AND LIGHT BOXES TO BE FLUSH; DRILL HOLES IN BRICK, RUN WIRES OUT TO UNITS, SET DISCONNECTS AND WIRE UP ALL UNITS/DISCONNECTS; RUN WIRE OUT AND SET RECEPTACLE BY UNIT.	1,191.83	1,191.83
1	SEPTEMBER 24, 2011: MATERIAL AND LABOR TO BEGIN WIRING ATTIC AREA; PULLED TV CABLES TO ATTIC FOR DISH; PULLED TWO TELEPHONE CABLES TO ATTIC FOR SPARES; HOOKED UP WIRES AT PANEL FOR CIRCUITS; INSTALLED STACK SWITCH AT KITCHEN; INSTALLED TWO FLAPPER BOXES FOR KITCHEN LIGHTS; SET RECESSED LIGHTS AND BOXES IN ATTIC; CHANGED DRYER CORD FROM 3-WIRE TO 4-WIRE AS REQUESTED TO PROPERLY FIT EXISTING OUTLET; MOUNT TV/TELEPHONE BOX ON PANEL BOARD AND RUN WIRES DOWN INTO PANEL.	1,084.44	1,084.44
1	SEPTEMBER 25, 2011: MATERIAL AND LABOR TO INSTALL FAN AND DUCT BOX ON BOTTOM OF COOK TOP AND THEN INSTALL COOK TOP BACK IN HOLE; INSTALL WIRE FROM JUNCTION BOX TO FANS AND TO RECEPTACLE BY UNIT; WIRE IN THIRD FLOOR ATTIC AREA FOR LIGHTS AND RECEPTACLES; BEGIN TAPPING UP ATTIC WIRING.	1,056.96	1,056.96

Pay online at: <https://ipn.intuit.com/xrm5b929>

Invoices are due within 15 days of billing date; if not customer shall be obligated to pay 2% interest per month, plus attorney's fee and court cost. Thank you for your business.

Total

106

Billy's Electrical Service, Inc.
 23707 Parsons Road
 Middleburg, VA 20117
 (540) 687-6226

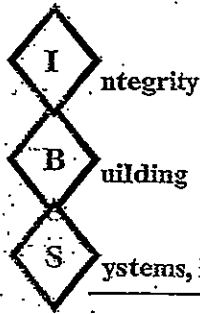
Invoice

Date	Invoice #
10/7/2011	16449

Bill To
PAUL & MILARI MADISON 39638 RICKARD ROAD LOVETTSVILLE, VA 20180-3302

P.O. No.	Terms	Project
	Due on Receipt	

Quantity	Description	Rate	Amount
1	SEPTEMBER 26, 2011: MATERIAL AND LABOR TO REMOVE LIGHT IN DINING ROOM - PUT DINING ROOM LIGHT TOGETHER, MODIFY AND REINSTALL; PUT HALL LIGHT TOGETHER, MODIFY AND HANG; CHECK OUT REFRIGERATOR CIRCUIT, LOCATE CIRCUIT AND INSTALL NEW BREAKER IN PANEL, MAKE CONNECTIONS.	375.06	375.06
1	SEPTEMBER 27, 2011: MATERIAL AND LABOR TO INSTALL RANGE CORD ON COOK TOP, MAKE ALL CONNECTIONS AND STRAPPED WIRE UNDER SINK IN CABINET SO IT WASN'T HANGING LOOSE.	165.64	165.64
1	OCTOBER 3, 2011: MATERIAL AND LABOR TO ADD RECEPTACLE FOR SUMP PUMP; INSTALL DISHWASHER FEED ON BREAKER IN PANEL; CHECK OUT AC/HEAT UNIT BREAKERS; INSTALLED LIGHTS AND RECEPTACLES IN SUN ROOM; INSTALL EXTERIOR WP RECEPTACLE OFF SUN ROOM STEP; RANG OUT THREE-WIRE ON THIRD FLOOR AND DELETED WIRE; HOOK UP THIRD FLOOR ARC FAULT BREAKERS, TAPED OFF AT PANEL; LEFT TRIMS IN ATTIC FOR THIRD FLOOR LIGHTS; INSTALL MASTER BATHROOM SHOWER RECESSED LIGHT TRIM AND BULB.	745.54	745.54
Pay online at: https://ipn.intuit.com/xrm5b929			
Invoices are due with in 15 days of billing date; if not customer shall be obligated to pay 2% interest per month, plus attorney's fee and court cost. Thank you for your business.		Total	\$11,477.29



We build upon our name

2435 Housels Run Road, Milton, PA 17847
Phone (570) 522-3600 Fax (570) 522-0089

October 21, 2011

Department of Housing and Community Development
State Building Code Administrative Office
Main Street Center
600 East Main Street
Richmond, VA 23219

Dear Sirs:

This letter is to inform you that effective November 17, 2011, that Integrity Building Systems will be ceasing all operations at our Milton, PA facility. The real estate has been sold to a firm involved in trucking activities while the business assets and equipment are being sold to another modular manufacturer, Icon Legacy Custom Modular Homes, of Selinsgrove, PA. Included with the asset purchase are all rights to the Integrity Building Systems name as well as all product names, literature, drawings, and other documents that were deemed the property of Integrity.

Since we are uncertain as to how and whether or not Icon Legacy will utilize the name and documents of Integrity we will provide you with the following contact information should any questions arise.

Contact at Icon Legacy—Dan Stimely phone number—(570) 374-3280

We want to thank you for your cooperation in this transition.

Sincerely;

A handwritten signature in cursive script, appearing to read 'Richard R. Rowe Jr.', is written over the printed name.

Richard R. Rowe Jr.
President
Integrity Building Systems

Also enclosed are 2 unused labels, numbers 2011-1756 and 1757. If we are entitled to a refund please forward to the address on the letter head above as soon as possible. Thank you.

168

**WOODWISE INC.
3365 PAPERMILL RD.
WINCHESTER VA. 22602
VA. CLASS A 2705 041686A**

**Milari Madison
40153 Janney St.
Waterford, Va. 20197**

12/8/11

PROPOSAL: Stairway rebuild to attic, other code corrections

SCOPE OF WORK:

1. Remove existing stairs to attic area, dispose of same
2. Alter truss framing as per approved engineering documents. (Engineering based on redesign of stair system by Woodwise Inc.) Alterations to include removal of drywall as necessary, reroute wiring, remove/install framing as necessary
3. Frame/build switch back stairway as per plan, per code
4. Coordinate building inspections
5. Install post to post rails as per plan, final trim work to match existing
6. Alter framing at 1st floor stairs to allow for 80" clearance as per code
7. Remove and rebuild stairs at kitchen area to meet code.
8. Provision of all material and disposal of waste

Included in this proposal :

1. Design work/consultation with Loudoun County Building Dept. /production of drawings
2. All materials and labor to perform the above scope of work

Excluded in this proposal:

1. Drywall repair, finishing
2. Paint or wood finishing

Terms and Conditions:

1. Prior to commencement of work a deposit of 50% of total will be required
2. Upon completion of stairway and before installation of rails an additional 25% of total will be due.

Total of this proposal:

\$14500.00

Brock, Larry (DHCD)

From: Hunter Madison [huntermadison2002@yahoo.com]
Sent: Thursday, December 15, 2011 6:09 AM
To: Brock, Larry (DHCD)
Subject: Madison Fw: Stairs, attic, kitchen and to second floor

Larry,

Per our conversation, I am working on the complaint that should include NTA. They certified that the units meet code and they do not. They certify that the electrical system is 200 amps, and it is 400 as delivered. I spent over \$12,000 organizing the electrical system and fixing problems. I have also spent \$75,000 fixing other code violations and problems prior to finding out about your office. It has been my position that NTA has liabilities as they have misrepresented that the units meet code. I am looking at another \$20,000 to fix the stairs.

----- Forwarded Message -----

From: Hunter Madison <huntermadison2002@yahoo.com>
To: David Tompos <tompos@ntainc.com>
Sent: Monday, November 14, 2011 6:52 AM
Subject: Re: Stairs, attic, kitchen and to second floor

Here are some of the problems:

- The overhangs did not match up, unit to unit. They built some out further, but what was built out was shoddy, uneven, and had to be re-done.
- The west wing wall to support the brick (on the main block) was built out for support purposes. They failed to build it out per the drawing, and failed to extend the roof sheathing to close in the 8" gap. Rain and water poured in.
- The west wing never came close to matching the kitchen so that marriage wall was re-built and the interior kitchen pantry closet was built out and was not square.
- The wall from the kitchen to the den was built out, and was not square or level.
- The stairs were built out utilizing scraps and are of unequal heights.
- The chimney chase area was built out and the portion sitting on the roof. Floor joists were cut to accommodate the necessary pipe (which was again inadequately done).
- They set the fireplace units into the opening which required reworking of the 2 x 4's.
- Demolished the wall from the second floor to the attic, causing very hazardous conditions.
- Built out framing for certain windows that are/were the wrong size so they did not fit (installed anyway).
- Built out/installed the collar ties (not level).
- Built out certain roof areas where sheathing was not level. This was a complete failure leaving me with ripples and humps in the roof and huge holes for water to pour in resulting in black mold.
- Built out attic framing on site where it was incomplete.

And what was not done (or a complete failure), under the contract and performance agreement assumed by Integrity is significant.

- Failed to level out the roof mostly at hinges.
- Failed to deliver house where doors could be installed.
- Cracked, broken and missing window trim.
- Short crown molding.

Short chimney chute material.
Missing exterior sheathing.
Failed to be weather proof.

The list goes on--- as they know.

Thank you.

Milari Madison

From: David Tompos <tompos@ntainc.com>
To: Hunter Madison <huntermadison2002@yahoo.com>
Sent: Sunday, November 13, 2011 9:39 PM
Subject: Re: Stairs, attic, kitchen and to second floor

The sticker that you refer to means that the builder was built under a certified quality control program. We do not inspect everything in the building. This is also only a component of the home. Anything done on site is the responsibility of the local code official. What was done on-site?

On Nov 13, 2011 7:11 PM, "Hunter Madison" <huntermadison2002@yahoo.com> wrote:

All of the modular units have certification stickers on them by NTA that they meet code, a material and false representation that we seek to correct by utilizing a licensed class A VA contractor, lawfully permitted to make such changes. John Berry provided a viable solution that will permit the use of the third floor as intended (and contracted for) when planning out the functionality and added value of the house. I am sure you realize that the delivery of the house has not been completed and that the house is a terrible mess, including where Integrity demolished the wall up to the third floor, leaving hot electrical wires hanging.

The stairs from the first floor up to the second floor do not meet code as delivered and certified by NTA as meeting code.

The stairs from the kitchen to the west wing, the one-story bump out, were built on site by Integrity, including other alterations to the same wall. If Integrity altered the "approvals" by NTA, without approval from NTA that such alterations would meet code, it would seem that the third party inspection agency (NTA) would have a professional interest in insuring that such alterations meet code, bearing NTA stickers, through an NTA contract with their client (Integrity). Clearly, without Integrity building the kitchen stairs out of scraps, the units, as delivered, set, engineered, and certified still would not have met code because the "approved" plan would have called for a code compliant stairs. In other words, the engineered drawings that were approved by NTA did not and could not have met code when the approval stickers were affixed. Because your stickers are on the house, I am happy to invite you to personally examine the house.

I am confident that NTA has a contractual agreement with Integrity and that all responsibilities will be worked out. I appreciate your assistance in expediting a resolution for all code issues.

Milari Madison

From: David Tompos <tompos@ntainc.com>
To: Hunter Madison <huntermadison2002@yahoo.com>
Cc: "DickR@integritybuild.com" <DickR@integritybuild.com>; John E Berry <woodwise2001@earthlink.net>
Sent: Sunday, November 13, 2011 3:27 PM
Subject: Re: Stairs, attic, kitchen and to second floor

NTA is not the engineer on this home and we did not design the home. We did not certify the stairs. That law requires the local inspector to approve and inspect anything done on site.

We do not have any agreement with you to provide any services.

On Nov 13, 2011 7:46 AM, "Hunter Madison" <huntermadison2002@yahoo.com> wrote:

It would be helpful if Integrity/NTA hired you directly as it is a serious engineering/manufacturing failure. It would also preserve our "warranty" from manufacturing defects as provided in the contract and performance agreement Integrity signed.

You have come up with an acceptable and viable solution to fixing code violations. Please do not forget that the stairs from the first floor to the second floor lack the proper head room and the stairs to the kitchen also do not meet code as built on site by Integrity--- all certified as meeting code by NTA.

Milari

From: John E Berry <woodwise2001@earthlink.net>

To: Hunter Madison <huntermadison2002@yahoo.com>

Cc: "DickR@integritybuild.com" <DickR@integritybuild.com>; David Tompos <tompos@ntainc.com>

Sent: Thursday, November 10, 2011 7:31 PM

Subject: Re: Stairs, attic, kitchen and to second floor

Milari, I spoke with Chris Thompson today and he informed me that he has received the engineering documents from NTA. He has forwarded these drawings to me. I have not had a chance to review them as yet but from our conversation it sounds as if they are in order.

I'm sure all the parties concerned with the issues at your house are anxious to resolve this as soon as possible.

From my standpoint I can be available to begin work on the project on or about the beginning of the week of 11/28.

As I had mentioned to you my primary concern for the time frame of this project would be in obtaining specific rail materials to match the existing therefore I would like to ask that the people from integrity to please let me know how to obtain posts(in particular) to match.

Beyond that I have noted that you would like to have integrity work with me with regard to payment for the work to be done. While I am not necessarily opposed to this I will need to discuss this with (mr. Rowe)? I would think. I will require a substantial down payment to initiate the work to be done and of course there will be contracts to be drafted.

All that being said I am ready to proceed. I would just like to make sure we are all on the same page.

Best regards to all,

John

Sent from my iPhone

On Nov 9, 2011, at 6:48 PM, Hunter Madison <huntermadison2002@yahoo.com> wrote:

Mr. Berry is a licensed, Class A contractor, that is able to fix the stairs in all three locations that currently do not meet code (although certified as meeting code). He needs the pieces for the stairs to come from the same supplier as those already installed in this house, as they should match.

The house is short nearly 4 pieces of 16 foot crown molding (as repeatedly stated) and I have windows that are not the correct size installed on site by Integrity. It is reasonable to have the items shipped. I need one of the second floor windows shipped to me.

Please advise when engineering will be completed and NTA can sign off on the drawing so he can move forward. Four months is long enough. I trust you will forward Mr. Berry payment to fix this costly error.

----- Forwarded Message -----

From: Hunter Madison <huntermadison2002@yahoo.com>

To: Richard Rowe <DickR@integritybuild.com>

Sent: Thursday, November 3, 2011 5:38 PM

Subject: Fw: Stairs, revised quote and other things

----- Forwarded Message -----

From: "John Berry, Woodwise, Inc." <woodwise2001@earthlink.net>

To: Milari Madison <huntermadison2002@yahoo.com>

Sent: Wednesday, November 2, 2011 5:19 PM

Subject: Stairs, revised quote and other things

Milari, I spoke with Chuck Osterday from NTA today and was able to help him with some technical questions. Sounds like they are expecting to have some engineering documents fairly quickly.

Also checked with my supplier and we can get the crown you need however it is 57.00 per piece and their supplier will only sell it in 4 piece packs. So didnt ask but how much do you need?

My suppliers rail part company does not have that particular style of post either, may need to go to Integrity's people.

I reworked my original quote with some of the changes that we discussed. Please note that it is still a rough quote for the time being nonetheless I think these are pretty much the figures that we are looking at.

Best regards, John

<Madison proposal.docx>

40153 Janney Street
Waterford, VA 20197
540-882-3160

----- Forwarded Message -----

From: Hunter Madison <huntermadison2002@yahoo.com>
To: "Larry.brock@dhcd.virginia.gov" <Larry.brock@dhcd.virginia.gov>
Cc: "chris.thompson@loudoun.gov" <chris.thompson@loudoun.gov>
Sent: Thursday, December 8, 2011 6:35 AM
Subject: Integrity Building Systems, Icon Legacy

Dear Mr. Brock,

It is my understanding that Chris Thompson has contacted you regarding a modular house purchased from Integrity Building Systems ("IBS"), now allegedly acquired by Icon Legacy. Chris indicated that the Icon contact person may be Dan Stimely whom I have left a message for and I also sent Icon an e-mail without response. The Performance Agreement, signed by IBS required completion by July 31, 2011 through the contract terms. As an aside, it is my understanding that the IBS sales and install agent has had an arrest warrant issued by DPOR (Ms. Queen). The Performance Agreement transferred duties and obligations to IBS.

I have already spent well over \$75,000 fixing "problems" and I am looking at another \$20,000 to fix remaining code violations specific to stairs. It should also be noted that certain manufacturer defects have resulted in an overall shoddy product, such as the hinging of the roof, resulting in humps and humps in the flooring as a result of bulging beams that would be extensive to fix to a level that was promised as an inducement to sign the agreement. Contrary to promises that the house would be square, nothing is square and has required tremendous work and money to fix such misalignment problems. I had/have extensive water damage and other problems as the units failed to line up and the roof sheathing was improperly installed.

Integrity already abandoned the project and has refused to provide meaningful communication over the past few months.

These problems have impeded my ability to get a full occupancy permit and has resulted in other damage that is very significant. The VA Code provides for recovery if I hire a third party to perform the repairs as needed. As it has already been over five months, I am anxious to move forward so my family can live in something other than a ripped up house.

Can you please let me know if you have contacted Icon/Integrity and the status of any such correction order? At a minimum, Icon Legacy can and should hire Mr. John Berry, the third party, Class A contractor that worked with IBS to come up with a proprietary and approved solution to the code violation. Icon is not licensed in Virginia to make such repairs.

Thank you.

Milari Madison
540-882-3160

My contract, as assumed by Integrity, cost me \$250,000 (plus) with another \$100,000 in repairs and fixes. It is a substantial matter for criminal prosecution as the fraud related to my contract took place in VA..

I appreciate your assistance in this matter.

Milari Madison

----- Forwarded Message -----

From: Dan Stimely <dans@iconlegacy.com>
To: Hunter Madison <huntermadison2002@yahoo.com>
Sent: Monday, December 12, 2011 4:23 PM
Subject: RE: Integrity Building Systems, Icon Legacy

Milari,

Icon Legacy Custom Modular Homes did not acquire Integrity Building Systems, Inc. as your email alleges. Integrity Building Systems, LLC purchased the assets of Integrity Building Systems, Inc. Icon Legacy Custom Modular Homes LLC had nothing to do with this asset purchase transaction and there is nothing that Icon Legacy Custom Modular Homes LLC can do to help you resolve your issues with Integrity Building Systems, Inc. Any further correspondence on the matter needs to be addressed to Integrity Building Systems, Inc. or the warranty company used by Integrity Building Systems, Inc.

Thank you,

Dan Stimely

Chief Executive Officer

Icon - Legacy Custom Modular Homes, LLC

246 Sand Hill Road

Selinsgrove, PA 17870

Phone: 570.374.3280

Fax: 570.374.1122

dans@iconlegacy.com

 *Help the environment and don't print this email unless you really need to!*

From: Hunter Madison [mailto:huntermadison2002@yahoo.com]

Sent: Friday, December 09, 2011 6:37 AM

To: Eric.Learterby@DHCD.Virginia.gov

Cc: Dan Stimely; Chris.thompson@loudoun.gov

Subject: Fw: Integrity Building Systems, Icon Legacy

Dear Mr. Leatherby,

Can you please send a correction letter to Integrity/Icon Legacy and call Dan Stimely at (570) 374-3280 (they acquired IBS)? I spoke with him yesterday and let him know your office would be in contact as the house has code violation (please see below). I stated to Mr. Stimely that I would prefer an amicable resolution. According to Chris Thompson, with Loudoun County, he had not heard back from them/him as "promised".

Thank you for your assistance in this matter

Milari Madison

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Thank you,

Dan Stimely

Chief Executive Officer

Icon - Legacy Custom Modular Homes, LLC

246 Sand Hill Road

Selinsgrove, PA 17870

Phone: 570.374.3280

Fax: 570.374.1122

dans@iconlegacy.com

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Thank you for your assistance in this matter

Milari Madison

111

Leatherby, Eric (DHCD)

From: Dan Stimely [dans@iconlegacy.com]
Sent: Thursday, December 15, 2011 4:31 PM
To: Leatherby, Eric (DHCD)
Subject: RE:

Mr. Leatherby,

Icon Legacy Custom Modular Homes, LLC has no agreement with Integrity Building Systems, Inc for Assets or any other contract.

Icon Legacy Custom Modular Homes, LLC will not take responsibility for any product or warranty for IBS.

Sincerely,

Dan Stimely

Chief Executive Officer

Icon - Legacy Custom Modular Homes, LLC

246 Sand Hill Road

Selinsgrove, PA 17870

Phone: 570.374.3280

Fax: 570.374.1122

dans@iconlegacy.com

 *Help the environment and don't print this email unless you really need to!*

From: Leatherby, Eric (DHCD) [<mailto:Eric.Leachery@dhcd.virginia.gov>]

Sent: Thursday, December 15, 2011 9:04 AM

To: Dan Stimely

Subject:

Mr. Stimely,

The Virginia State Building Code Administrative Office administers the Virginia Industrialized Building Safety Regulations and acts as the building official for the factory built portions of Virginia registered Industrialized buildings.

We received a letter from Mr. Richard Rowe Jr., President of Integrity Building Systems, on 10/21/11 informing us that the business assets and equipment were being sold to Icon Legacy Custom Modular Homes. The letter further stated, "Included with the asset purchase are all rights to the Integrity Building Systems name as well as all product names, literature, drawings, and other documents that were deemed the property of Integrity". Mr. Rowe identified you as the contact person for any questions.

Please advise me if Icon Legacy assumed responsibility for the warranties of the homes constructed by Integrity as part of this transaction.

Thank you.

Eric Leatherby

Sr. Construction Inspector II



Robert F. McDonnell
Governor

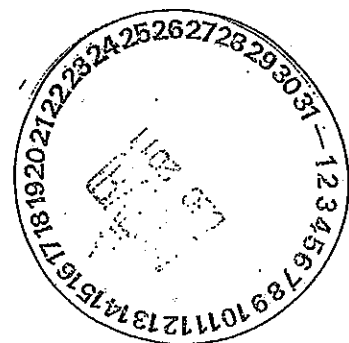
James S. Cheng
Secretary of
Commerce and Trade

COMMONWEALTH of VIRGINIA

DEPARTMENT OF
HOUSING AND COMMUNITY DEVELOPMENT

William C. Shelton
Director

INDUSTRIALIZED BUILDING CONSUMER COMPLAINT FORM



Name of person(s) requesting assistance in resolving dispute: (please print)

Milari Madison

Building Project Information:

Owner: Milari Madison
Site Location-Street address: 40153 Janney Street
City: Waterford State: Virginia Zip code: 20197
Daytime phone: 540-882-3160 Evening or weekend phone: same
E-mail address: huntermadison2002@yahoo.com
Date Certificate of Occupancy issued: not Date purchased: May 5, 2011
Date delivered to site location: July 2011

Additional information - mailing address if different from site address:

Name: _____
Street Address: _____
City: _____ State: _____ Zip code: _____
Daytime phone: _____ Evening or weekend phone: _____
E-mail address: _____

Partners for Better Communities



www.dhcd.virginia.gov

Main Street Centre • 600 East Main Street, Suite 300 • Richmond, Virginia 23219 • Phone (804) 371-7000 • Fax (804) 371-7090 • Virginia Relay 7-1-1

Manufacturer of building:

Name of manufacturer: Integrity Building Systems (Now a division of Icon Legacy)

Name of contact person at plant (if known): Marty Sickle at Integrity, Dan Stimely at Icon Legacy

Street address: _____

City: _____ State: _____ Zip code: _____

Telephone: _____

Data Plate Information:

Serial number: IBS Serial # 01-0611-1991ABCDEFGHI _____

Virginia certification seal No.: NTA Seal # F2-336766 thru 336774, NTA Seal # F2-336772-1991G, NTA Seal # F2-336773-1991H, NTA Seal # F2-336774-1991I _____

Date manufactured: July 2011 _____

Building purchased from:

Name: Darren McNutt at Convenient Installations and Martin Sickle and Glenn Salsman at Integrity Building Systems under a Performance Agreement to include all aspects of sale, set, delivery and warranty

Name of contact person: Martin Sickle of IBS, Dan Stimely of Icon Legacy (the receptionists states the "merged").

Street address: 246 Sand Hill Road _____

City: Selinsgrove _____ State: PA _____ Zip code: 17870

Telephone: 570.374.3280 _____

E-mail address: Dan Stimely <dans@iconlegacy.com>; _____

Have you contacted the (manufacturer, retailer or installer) regarding your complaint?

Yes If Yes please specify below:

Person/firm contacted: Daren McNutt at Convenient Installations, Dan Stimely at Icon Legacy, Martin Sickle, Glenn Salsman and Richard Rowe at Integrity Building Systems, David Tompos at NTA Inc.

Date(s) Contacted: Many _____

In writing or by phone? Both

The house was improperly set by Convenient (Performance assumed by Integrity). Neither party is licensed in Virginia to set modular and to perform general contracting services. DPOR has issued an arrest warrant for Darren McNutt. Integrity promised to fix a number of the items, including open building code violations for the stairs from the first floor to the second floor, the kitchen to the lower west wing, and the first floor head room to the second floor is short 2" per code. In addition, they failed to deliver a weather proof house, which in the Integrity letter to us is the responsibility of the builder/installer, so we incurred extensive water damage. .

[Please attach additional pages as necessary]

Attach copies of all written correspondence to or from the manufacturer, retailer, installer, or owner. Also, attach copies of any other documentation to support your dispute. Please note these documents will not be returned.

Print Name of person submitting complaint: Milari Madison

Signature: _____ Date: December 15, 2011

Return this form and attachment documents to:

Department of Housing and Community Development
State Building Code Administrative Office
600 East Main Street
Suite 300
Richmond, VA 23219-1321
(804) 371-7160

Description of concerns:

The overhangs did not match up, unit to unit. They built some out further, but what was built out was shoddy, uneven, and had to be re-done.

Floors are not level from certain rooms. Units not "square".

The west wing wall to support the brick (on the main block) was built out for support purposes. They failed to build it out per the drawing stamped by NTA Inc, and failed to extend the roof sheathing to close in the 8" gap. Rain and water poured in.

The west wing never came close to matching the kitchen so that marriage wall was re-built and the interior kitchen pantry closet was built out and was not square.

The wall from the kitchen to the den was built out, and was not square or level.

The stairs were built out utilizing scraps and are of unequal heights.

The chimney chase area was built out and the portion sitting on the roof. Floor joists were cut to accommodate the necessary pipe (which was again inadequately done).

They set the fireplace units into the opening which required reworking of the 2 x 4's.

Demolished the wall from the second floor to the attic, causing very hazardous conditions.

Built out framing for certain windows that are/were the wrong size so they did not fit (installed anyway).

Built out/installed the collar ties (not level).

Built out certain roof areas where sheathing was not level. This was a complete failure leaving me with ripples and humps in the roof and huge holes for water to pour in resulting in black mold.

Built out partial attic framing on site where it was incomplete.

And what was not done (or a complete failure), under the contract and performance agreement assumed by Integrity is significant. The modules were approved by NTA as meeting applicable code which was/is not true.

Failed to level out the roof mostly at hinges. Repair cost nearly \$15,000 and still has bumps.

Failed to deliver house where doors could be installed.

Cracked, broken and missing windows and trim.

Short crown molding.

Short chimney chute material. Chute did not meet code. Repair and install cost \$1525.

Missing exterior sheathing.

Failed to be weather proof.

Existing building code violations

Performed work although unlicensed

Induced to sign contract based on false and illegal promises

Overall quality is poor and roof has humps

Cost to "fix" certain problems has been approximately \$100,000

[Please attach additional pages as necessary]



FOR OFFICE USE ONLY	
LICENSE NUMBER	
EXPIRATION DATE	
FILE NUMBER	

COMPLAINT FORM

NOTE: The Department cannot guarantee anonymity. By law, all complaints received by the Department are subject to public disclosure once a case is closed. Therefore, if you wish to file a complaint anonymously, please do not submit the complaint electronically. In addition, do not include any personal information on the complaint form or any supplemental documents that reveal your identity. While the Department may accept an anonymous complaint, it will not proceed if it lacks sufficient information to support a regulatory or criminal violation.

SECTION I - REQUIRED INFORMATION

COMPLAINT FILED BY

Name Mailee Madison
Company _____
(Your company name if filing on behalf of a company.)
Mailing Address 40153 Janney St.
City, State, and Zip WATERFORD VA 20197
Phone Numbers _____
BUSINESS _____ CELL 540-882-3160 HOME/OTHER _____
E-mail Address hunkermadison2002@yahoo.com
Address where problem occurred Same
City/County Waterford / Loudoun
How did you hear about DPOR?
☐ Newspaper ☐ DPOR publication, speaker, or contact
☐ TV ☐ Referred by _____
☐ Radio ☐ Other _____
☒ Internet

COMPLAINT AGAINST

Individual Name Eric J Tompos
Company NTA OF INDIANA INC.
Address 305 N OAKLAND AVE
City, State, and Zip NAPPANEE, IN 46550
Phone Numbers (574) 773-7975
BUSINESS _____ CELL _____ OTHER _____
E-mail Address David Tompos <tompos@ntainc.com>
Type of License and/or License Number 041814

SECTION II - SUPPORTING DOCUMENTS

To process a Complaint Form, supporting documents are needed, which may include the following:

ALL BOARDS	Copies of all relevant documentation including, but not limited to: contracts, agreements, invoices, receipts, correspondence, and photographs (all pages - front and back)
CONTRACTOR	Copy of contract, Proof of Payment, Building Official Documentation, Notice of Violation
REAL ESTATE	Purchase Contracts, Listing Agreements, Settlement Statements, Cancelled Checks, Disclosure Statements, Management Agreements, Leases
APPRAISER	Copy of Appraisal
LAND SURVEYOR	Copy of Survey
BARBERS & COSMETOLOGY	Copy of Medical Records/Photos re injuries

SECTION III - COMPLAINT DESCRIPTION

Describe the complaint. If more room is needed, include an additional document with submittal.

NTA performed third party inspection services for a modular house purchased by me. The company, under Mr. Tompos, a licensed engineer with DPOR, certified that the delivered house complies with all code. It further certified that the house has 200 amp electrical service when it does not, but was set with a 400 amp service that required over \$12,000 to complete and fix. The house has failed to meet building code and, as such, I cannot get an occupancy permit from the county, in spite of the certification by Mr. Tompos, under DPOR's jurisdiction, § 54.1-411. Organization for practice; registration, at (B), "As a condition of registration, the entity shall name at least one licensed architect, professional engineer, land surveyor, landscape architect or certified interior designer for such profession offered or rendered. The person or persons named shall be responsible and have control of the regulated services rendered by the entity." Such a false certification is deceptive and misleading, § 54.1-201. Powers and duties of regulatory boards. 5. To promulgate regulations in accordance with the Administrative Process Act (§ 2.2-4000 et seq.) necessary to assure continued competency, to prevent deceptive or misleading practices by practitioners and to effectively administer the regulatory system administered by the regulatory board. 6. To ensure that inspections are conducted relating to the practice of each practitioner certified or licensed by the regulatory board to ensure that the practitioner is conducting his practice in a competent manner and within the lawful regulations promulgated by the board. The fee for the purchase of the house included the itemization of the fee paid to NTA.

I wish to complain about the individual/business named above. I understand that a regulatory board does not have the authority to require a licensee to return money, correct deficiencies, or provide other personal remedies. I further understand that decisions regarding criminal prosecutions are at the discretion of the Department and the Commonwealth's Attorney. I am submitting this information so that the Department may determine whether disciplinary or criminal action against this individual or business should be considered. I verify under penalty of law that the information provided is true to the best of my knowledge.

Full Name Milari Madison

Date 12/16/2011

SECTION IV - HOW TO SUBMIT THIS FORM

Please return this form one of the following ways

E-MAIL ☒ * BEFORE SUBMITTING
VIA E-MAIL, PLEASE SEE
INSTRUCTIONS BELOW

FAX ☒ (866) 282-3932

MAIL ☒

Department of Professional and Occupational Regulation
Compliance & Investigations Division
Complaint Analysis & Resolution
9960 Mayland Drive, Suite 400
Richmond, Virginia 23233-1485

Contact Information

Dept of Professional and Occupational Regulation
Complaint Analysis & Resolution

COMPLAINTS - (804) 367-8504

TDD - (804) 527-4290

HOTLINE FOR OLDER VIRGINIANS - (804) 367-2178

EMAIL - complaintanalysis@dpor.virginia.gov

WEBSITE - www.dpor.virginia.gov

* There is a size limit for documents submitted by e-mail. If your attachments exceed 18 MB, a non-delivery receipt will be sent to you. If you exceed the limit please submit the complaint form and supporting documents to the mailing address above.



FILE COPY

Robert F. McDonnell
Governor

James S. Cheng
Secretary of
Commerce and Trade

COMMONWEALTH of VIRGINIA

William C. Shelton
Director

DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT

December 29, 2011

Ms. Milari Madison
40153 Janney Street
Waterford, VA 20197

Dear Ms. Madison,

The State Building Code Administrative Office has been designated by the Virginia Department of Housing and Community Development to enforce the Virginia Industrialized Building Safety Regulations and acts as the building official for registered industrialized buildings, commonly referred to as modular homes. As the building official we are authorized to cite the manufacturer for building code violations that are introduced during production in the factory. Building code violations caused by others after the home has left the factory are under the jurisdiction of the local building official.

I have reviewed the complaint that you recently submitted to this office concerning your home that was manufactured by Integrity Building Systems, Milton, PA. The complaint contains potential violations that appear to have been caused by the manufacturer and also by the contractor that installed the home.

Procedurally when this office receives a complaint with factory related violations we forward the complaint to the manufacturer and ask for a plan of corrective action. If the manufacturer does not correct the building code violations a notice of violation is issued compelling them to take corrective action. Unfortunately, this office received notice from Integrity Building Systems on October 21, 2011 stating that effective November 17, 2011 they were ceasing all operations and that their assets were being sold to Icon Legacy Custom Modular Homes, of Selinsgrove, PA.

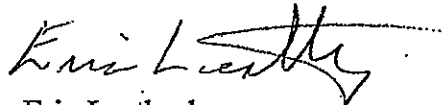
I contacted Mr. Dan Stimely, CEO of Icon Legacy Custom Homes and inquired if the acquisition of Integrity's assets included honoring the warranties for homes built by Integrity. He responded that they had only purchased materials and equipment from Integrity and that "Icon Legacy Custom Modular Homes, LLC will not take responsibility for any product or warranty for Integrity Building Systems".

As Integrity Building Systems is no longer in business we are unable to cite the manufacturer for the potential violations listed in your complaint.

I regret that we are unable to assist you in this matter. Therefore this file will be administratively closed.

Please contact me at 804-371-7165 if you have any questions regarding this matter.

Sincerely,

A handwritten signature in black ink, appearing to read "Eric Leatherby". The signature is fluid and cursive, with a prominent horizontal line across the middle.

Eric Leatherby
Sr. Construction Inspector II
State Building Code Administrative Office

cc: Christopher Thompson, Loudoun Co.



Timothy M. Finnerty
Direct Dial: 717.237.5394
Direct Fax: 717.260.1691
tfinnerty@mwn.com

VIA CERTIFIED MAIL

RECEIVED

JAN 23 2012

Bureau of Consumer Protection-Admin.
PA Office of Attorney General

RE: Milari Madison
BCP-12-05-000656

Dear Ms. Wilkinson:

This firm represents Integrity Building Systems, LLC ("New IBS"). We are in receipt of your letter to New IBS, dated January 9, 2012, concerning a complaint by Ms. Milari Madison. In your letter, you note that a complaint is often the result of a mistake or misunderstanding; we believe that there has been such a mistake in this case.

On November 17, 2011, New IBS purchased certain assets of Integrity Building Systems, Inc. ("Old IBS"). We can make a copy of the agreement available to you upon request, subject to your assurances that it be kept strictly confidential. This was an asset purchase, not a stock purchase; New IBS has no ownership of Old IBS.

New IBS and Old IBS are not related or affiliated in any way. They have no common shareholders. None of the officers or board members of New IBS was ever an officer or board member of Old IBS. The only reason the two entities have similar names is that New IBS purchased the right to use the name "Integrity Building Systems" as part of the asset purchase.

In connection with the asset purchase, New IBS agreed to assume only certain of Old IBS's liabilities: some, but not all, of Old IBS's accounts payable, and eleven contracts to build modular homes. Ms. Madison's contract was not among those assumed by, or even disclosed to, New IBS. New IBS and Old IBS agreed that all of Old IBS's liabilities and obligations, other than the few explicitly assumed by New IBS, would remain Old IBS's responsibility. Those retained

Karen L. Wilkinson
January 19, 2012
Page 2

liabilities and obligations included, among other things, claims against Old IBS with regard to modular homes previously built by Old IBS and Old IBS's warranty obligations.

Old IBS is still in existence; it changed its name to Milton Home Systems, Inc. in conjunction with the asset sale. A copy of the Articles of Amendment for Old IBS showing the change of name is enclosed. Their address of record is 2435 Housels Run Road, Milton, PA 17847. We do not have a current phone number for them.

In summary, Ms. Madison erroneously filed her complaint against the wrong party; her grievance is with Old IBS, now Milton Home Systems, Inc., not New IBS. We hope that this clarification assists both you and her in this matter. Please contact me if you have any questions.

Sincerely,

McNEES WALLACE & NURICK LLC

By 
Timothy M. Finnerly

adc

c: Clay Snyder, Integrity Building Systems, LLC

Rudnitsky & Hackman, L.L.P.

Attorneys at Law

Courtyard Offices
1372 N. Susquehanna Trail, Suite 130
Sellersville, Pennsylvania 17870

Telephone (570) 743-2333

Fax (570) 743-2347

www.rudnitskyhackman.com

February 10, 2012

Via Email & US First Class Mail

Paul G. Madison
Kelley, Drye & Warren, LLP
Washington Harbour, Suite 400
3050 K Street, NW
Washington, DC 20007-5108

Re: Milari Madison
BCP-12-05-000656

Dear Mr. Madison:

This firm is counsel to Milton Home Systems, Inc., successor by name change to Integrity Building Systems, Inc.

We received a copy of a letter that Tim Finnerty, counsel for Integrity Building Systems LLC, directed to the Office of the Attorney General which details the circumstances regarding the sale and purchase in question. A copy is enclosed for your records. Attorney Finnerty has correctly described the structure of the transaction and the fact that this particular claim was not assumed by Integrity Building Systems LLC.

Having reviewed our client's file, we know that this matter has been ongoing for a number of months and that you may not have received a response to either your letter of September or December. Now that we are involved, we hope to engage in a productive discussion as to how this matter may be resolved.

Please direct any and all further communications regarding this matter to our office.

Very truly yours,

RUDNITSKY & HACKMAN, L.L.P.

BY:

KENNETH G. POTTER

Email to potter@rudnitskyhackman.com

Enclosure
cc: client

Rudnitsky & Hackman, L.L.P.

Attorneys at Law

RECEIVED

MAR 16 2012

Bureau of Consumer Protection-Admin.
PA Office of Attorney General

County Office
1372 N. Susquehanna Trail, Suite 130
Selinsgrove, Pennsylvania 17870

Telephone (570) 743-2333

Fax (570) 743-2337

www.rudnitskyhackman.com

March 14, 2012

Karen L. Wilkinson, Agent
Commonwealth of Pennsylvania
Office of Attorney General
Bureau of Consumer Protection
15th Floor, Strawberry Square
Harrisburg, PA 17120

Re: Milari Madison
BCP-12-05-000656

Dear Ms. Wilkinson:

This office represents Milton Home Systems, Inc. Your letter dated March 5, 2012 was forwarded to my office for review.

Please be advised that I have been in contact with Ms. Milari Madison, as well as her husband, regarding the above-referenced consumer complaint. We are working with Milton Home Systems, Inc. to resolve the various issues of concern with Ms. Madison.

If you have any questions regarding this information, please contact me.

Very truly yours,

RUDNITSKY & HACKMAN, L.L.P.

BY:


KENNETH G. POTTER

Email to potter@rudnitskyhackman.com

cc: client

Integrity Madison L.P. Atty. General

Docketing Statement (Changes)
DSCB:15-134B

BUREAU USE ONLY:

☐ Revenue ☐ Labor & Industry

☐ Other _____

File Code _____ Filed Date _____

Part I. Complete for each filing:

Current name of entity or registrant (survivor or new entity if merger or consolidation):

Integrity Building Systems, Inc.

Entity number, if known: 2873320

Incorporation/qualification date in PA: 04/22/1999

State of Inc: PA

Federal EIN: 23-300019 Specified effective date, if any: 11/17/2011

Part II. Check proper box:

☒ Amendment (complete Section A) ☐ Merger, Consolidation or Division (complete Section B, C or D)

☐ Consolidation (complete Section C) ☐ Division (complete Section D)

☐ Conversion (complete Section A & E) ☐ Correction (complete Section A)

☐ Termination (complete Section H) ☐ Revival (complete Section G)

☐ Dissolution before Commencement of Business (complete Section F)

☒ Section A - Check box(es) which pertain to changes:

☒ Name:

Milton Home Systems, Inc.

☐ Registered Office: Number & street/RD number & box number City State Zip County

☐ Purpose:

☐ Stock (aggregate number of share authorized): _____ Effective date: _____

☐ Term of Existence: _____ Other: _____

☐ Section B - Merger Complete Section A if any changes to surviving entity:

Merging Entities are: (attach sheet for additional merging entities)

Name:

Entity #, if known:

Effective date:

Inc./qual. date in PA.

State of Inc.

Name:

Entity #, if known:

Effective date:

Inc./qual. date in PA.

State of Inc.

PENNSYLVANIA DEPARTMENT OF STATE
CORPORATION BUREAU

Articles of Amendment-Domestic Corporation
(15 Pa.C.S.)

☒ Business Corporation (§ 1915)
☐ Nonprofit Corporation (§ 5915)

Name: Karen L. Hackman, Esquire Rudnitsky & Hackman, LLP		
Address: 1372 North Susquehanna Trail, Suite 130		
City: Selinsgrove, PA	State:	Zip Code: 17870

Document will be returned to the name and address you enter to the left.

Fees: \$70

In compliance with the requirements of the applicable provisions (relating to articles of amendment), the undersigned, desiring to amend its articles, hereby states that:

1. The name of the corporation is:
Integrity Building Systems, Inc.

2. The (a) address of this corporation's current registered office in this Commonwealth or (b) name of its commercial registered office provider and the county of venue is (the Department is hereby authorized to correct the following information to conform to the records of the Department):

(a) Number and Street	City	State	Zip	County
2435 Housels Run Road,	Milton,	PA	17847	Northumberland

(b) Name of Commercial Registered Office Provider
c/o _____ County _____

3. The statute by or under which it was incorporated: 15 Pa.C.S. § 1306

4. The date of its incorporation:
April 22, 1999

5. Check, and if appropriate complete, one of the following:

☒ The amendment shall be effective upon filing these Articles of Amendment in the Department of State.

☒ The amendment shall be effective on: 11/17/2011 at 12:01 am
Date Hour

6. Check one of the following:

☒ The amendment was adopted by the shareholders or members pursuant to 15 Pa.C.S. § 1914(a) and (b) or § 5914(a).

☐ The amendment was adopted by the board of directors pursuant to 15 Pa. C.S. § 1914(c) or § 5914(b).

7. Check, and if appropriate, complete one of the following:

☒ The amendment adopted by the corporation, set forth in full, is as follows

The name of the corporation shall be changed to Milton Home Systems, Inc.

☐ The amendment adopted by the corporation is set forth in full in Exhibit A attached hereto and made a part hereof.

8. Check if the amendment restates the Articles:

☐ The restated Articles of Incorporation supersede the original articles and all amendments thereto.

IN TESTIMONY WHEREOF, the undersigned corporation has caused these Articles of Amendment to be signed by a duly authorized officer thereof this

16 day of November

2011

Integrity Building Systems, Inc.

Name of Corporation

Glen A. Loh

Signature

Secretary

Title

Waterford VA 20197

Thank you.

----- Forwarded Message -----

From: "Thompson, Chris" <Chris.Thompson@loudoun.gov>
To: Hunter Madison <huntermadison2002@yahoo.com>; "potter@rudnitskyhackman.com" <potter@rudnitskyhackman.com>
Cc: ""Leatherby, Eric (DHCD)"" <Eric.Leatherby@dhcd.virginia.gov>; ""Brock, Larry (DHCD)"" <Larry.Brock@dhcd.virginia.gov>; John E Berry <woodwise2001@earthlink.net>
Sent: Tuesday, February 28, 2012 9:12 AM
Subject: RE: Madison/Milton Settlement, violation report

Milari,

There were several items in your home that were not code compliant.

They were the stairs leading to the wing off the kitchen which did not meet the requirements of section R311.5.3.3 Profile. Specifically the treads were temporary and did not meet the profile requirements and had open risers in excess of 4 inches. The stairway to the second floor did not meet the requirements of section R311.5.2 Headroom

The stairway to the third floor did not meet the requirement of section R311.5.2 Headroom and R311.5.4 Landings for Stairways.

There are temporary guards that do not meet the requirements of section R312.1 Guards.

County of Loudoun

Building and Development

Code Enforcement Division

Chris Thompson

From: Hunter Madison [mailto:huntermadison2002@yahoo.com]
Sent: Tuesday, February 28, 2012 5:26 AM
To: Thompson, Chris; potter@rudnitskyhackman.com
Cc: "Leatherby, Eric (DHCD)"; "Brock, Larry (DHCD)"; John E Berry
Subject: Fw: Madison/Milton Settlement, violation report

Chris,

Per the DHCD's e-mail below, can you kindly confirm for the attorney for Milton/Integrity that there are open code violations as he requested? These code violations were noted in the Woodwise proposal for correction. It should be noted that since Integrity staff demolished the wall, on site, leading up to the third floor, the electricity is also left hanging and incomplete.

Thank you.

Milari Madison.

----- Forwarded Message -----

From: "Leatherby, Eric (DHCD)" <Eric.Leatherby@dhcd.virginia.gov>
To: Hunter Madison <huntermadison2002@yahoo.com>
Cc: "Brock, Larry (DHCD)" <Larry.Brock@dhcd.virginia.gov>
Sent: Monday, February 27, 2012 9:48 AM
Subject: RE: Madison/Milton Settlement, violation report

Ms. Madison,

No one from this office has been to your home to perform inspections. The only information that I have received regarding defects to your home have come from you and Loudon County building inspector Chris Thompson. I suggest that you contact the Loudon Co. building department for reports of inspections that they have conducted.

Eric Leatherby

From: Hunter Madison [mailto:huntermadison2002@yahoo.com]
ent: Sunday, February 26, 2012 11:05 AM
To: Brock, Larry (DHCD); Leatherby, Eric (DHCD)
Cc: Inc.; Chris Thompson; potter@rudnitskyhackman.com
Subject: Fw: Madison/Milton Settlement, violation report

Hello.

The attorney for Milton has asked if there is a report regarding the code violations per his e-mail below. Do you have an itemized issue list that you can send Mr. Potter? As we have already addressed to date 1. the stairs to the attic do not meet code 2. the stairs from the kitchen to the west wing do not meet code 3. the stair clearance height from floor one to floor two do not meet code. These three items were included in Mr. John Berry's proposal to fix the code violations.

Can you kindly send him whatever correction notice that you may have sent to Milton/Integrity/Icon?

Thank you.

Milari Madison
540-882-3160

----- Forwarded Message -----

From: Ken Potter <potter@rudnitskyhackman.com>
To: Hunter Madison <huntermadison2002@yahoo.com>
ent: Friday, February 24, 2012 10:28 AM
Subject: RE: Madison/Milton Settlement

Mrs. Madison:

Sorry I didn't return your call yesterday as I had back to back appointments. I have spoken to my client and he is gathering information that I have requested. I am also contacting the insurance carrier. Additionally, I am considering a trip to your home to see the issues first hand. I will keep in touch. Do you have a report from the code officer outlining the code violations? If so, would you consider sending me a copy.

Thank you for your patience.

Ken Potter

From: Hunter Madison [mailto:huntermadison2002@yahoo.com]
Sent: Friday, February 24, 2012 6:56 AM
To: Ken Potter
Subject: Fw: Madison/Milton Settlement

Mr. Potter,

I now you are trying to connect with the client. Can you please let me know when you expect to have a reply/next step?

Thank you.

Milari Madison

----- Forwarded Message -----

From: Hunter Madison <huntermadison2002@yahoo.com>
To: "potter@rudnitskyhackman.com" <potter@rudnitskyhackman.com>
Cc: David Tompos <tompos@ntainc.com>
Sent: Friday, February 17, 2012 9:56 AM
Subject: Madison/Milton Settlement

Dear Mr. Potter,

For the purposes of settlement discussions only, I thought it might be helpful to provide you with a cursory overview to share with your client. As you are aware, we have a phone call set for Monday at 11:00.

At this time, I cannot obtain an occupancy permit. The estimate to correct the items related to the three stair/code violations has been provided to Dick Rowe by a licensed VA contractor. It is my understanding that Mr. Rowe and Mr. Tompos spoke with the contractor/county and that an "approval" to the plan has been tentatively agreed to by the county. By me agreeing to the approved stair change, is a significant concession in that it diminishes the functionality and appearance of the second floor going to the third floor greatly. The altered plan is not what I agreed to and paid for, however, is acceptable to me for the purposes of settlement only. The third floor was planned as integral space for my house, family, and the value of the house. The presentation as to how to access the space is very important.

Due to water damage and other problems, the house has visible mold. The ceilings in the second floor are heavily cracked and buckling. The sheet rock needs to be replaced and the upstairs needs to be repainted. The floors throughout the house are uneven. Nearly all walls are neither square or straight. The lopsided nature poses difficulties in finishing the house in that the mistakes cannot be simply covered up and fixed cosmetically. Buckled floors lead to buckled molding. I have already spent over \$100,000 fixing problems. The house cost me approximately \$254,000 as purchased from Integrity. I was told that I would be responsible to repair the marriage walls, which was "no big deal" and attach the electric boxes which should take an electrician "a few hours". The third party inspection agency, NTA, stated that the electric was a 200 amp service. It is a 400 amp services and cost me \$12,000 to get it almost working. I still do not have electrical sign off from the county.

The county's approval of this project was a result of a legal settlement and the house was required to be built in accordance with the specifications as stipulated to with the county as the house is in an historic district. Some of the windows were framed out and set to the wrong size by Integrity workers. The overhangs are incorrect as built out by Integrity staff. The overhang build outs were/are lopsided and proved necessary as there were large gaps and misalignment between the boxes.

I am sure that you realize that no one wants a defective house that is shoddy. The metal roof is lumpy as the roof trusses have gaps in them and are not tight or level. All of these problems can be fixed but at what cost? Accepting the many problems "as is" is worth what? I know, for example, the house has not been bolted in the basement and the dormers were not bolted to the roof. I am very concerned that other problems will present themselves too as a result of manufacturing, building, and performance defects.

Thank you for any efforts to settle this regrettable and unfortunate matter. I look forward to speaking with you on Monday at 11:00.

Milari Madison



Robert F. McDonnell
Governor

James S. Cheng
Secretary of Commerce
and Trade

COMMONWEALTH of VIRGINIA

DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT

William C. Shelton
Director

March 29, 2012

Milari Madison
40153 Janney St.
Waterford, VA 20197

Dear Mrs. Madison:

On behalf of Mr. Bill Shelton I am responding to your email dated March 26, 2012 regarding code violations determined by Loudoun County in their inspection report for your new modular home. You asked that the Department of Housing and Community Development pursue violations against the manufacturer or the 3rd party inspection agency and how our agency can direct assistance to you in the matter.

In your email you noted §36-83 as the statute covering violation notices for modular buildings and asked that DHCD consider pursuing charges against the Integrity Company, the manufacturer of your modular home and NTA, the compliance assurance agency.

DHCD staff members Larry Brock and Eric Leatherby have both responded to your emails sent from February 26, 2012 to March 23, 2012. Because the manufacturer of your modular home was no longer in business, our response was that without that modular building entity being in business there was not an avenue for DHCD to issue a violation notice. The recourse for you would be a civil matter. Your email dated February 17, 2012 to Mr. Potter, an attorney for the Milton Company, seems to indicate that indeed you have sought to resolve the stair violations through the company that bought the out-of-business Integrity Building Systems Company.

In order to provide a definitive and formal decision on the issuance of any notice of violation, we need to do further investigation and to obtain additional information from NTA on the factory inspections; from the county building department on permits issued and to whom and violations cited or noted on any obtained permits; from the county or NTA the approved manufacturer's plans; from the county, the manufacturers, the NTA or you for any change orders and altered work done on-site; and, from you or the contractors what work was done at the job site to determine the impact in assembling of the modular home and specifically the installation of the stairs. Without this additional information we cannot determine if there was a manufacturing issue or if site changes or work attributed to the improper installation of the stairs. From your email to Mr. Cox dated February 17, 2012, there was an approved plan

M. Madison
March 29, 2012
Page Two

by Mr. Rowe, Mr. Tompos and the county to correct the stair violations. We are going to have to see and inspect those corrections when they are completed. Please contact Ms. Cindy Davis, State Building Code Administrator, at (804) 371-7161 regarding any planned stair work.

You also mentioned that your modular home came with a 400 amp service while the sticker stated the modular home had a 200 amp service. Did the home, as delivered, have a 200 or 400 amp service or did you have the 400 amp service installed by a contractor and inspected by the county? We are not sure exactly what the issue is regarding your reference to the seal saying there was a 200 amp service. If it is just a matter for NTA to replace the seal with one that say there is a 400 amp service that is easily done.

When we have gathered the additional information and have consulted with our legal counsel, we will provide to you our decision on the application of the Industrialized Building Safety Regulations that govern the manufacturing and installation of modular homes. Below is the section of the regulations that describes your appeal rights:

13VAC5-91-70. Appeals.

Any person aggrieved by DHCD's application of this chapter shall be heard by the State Review Board established by § 36-108 of the Code of Virginia. Such appeal shall be submitted within 21 calendar days of receipt of DHCD's decision. A copy of the decision of DHCD to be appealed shall be submitted with the application for appeal. Failure to submit an application for appeal within the time limit established by this section shall constitute acceptance of DHCD's decision.

Sincerely,



Emory R. Rodgers, Deputy Director
Division of Building and Fire Regulation

CC: Bill Shelton, Director, DHCD
✓Cindy Davis, DHCD
Larry Brock, DHCD
Steven D. Rodgers, Loudon County
Steve Pilson, Loudon County

File Report

April 9, 2012

Subject: Site inspection of Milari Madison home.
40153 Janney Street
Waterford, VA 20197
Serial number -01-0611 A thru I
VA seals numbers - 2011-0695 thru 2011-0703

Note to file: The above referenced home was manufactured by Integrity Building Systems of Milton Pennsylvania on July 14, 2011. The home was site installed by Convenient Installations of Ranson, West Virginia on July 20, 2011.

The homeowner filed a consumer complaint with the SBCAO on December 15, 2011 against Integrity. The consumer complaint was closed on December 29, 2011 because the manufacturer, Integrity Building Systems had notified the SBCAO on October 21, 2011 that they were going out of business on November 17, 2011.

The SBCAO was notified by NTA that they were conducting a site inspection of the home on April 9, 2012 at the request of Milton Homes, which is owned by the former owners of Integrity. Although the complaint file had been closed, in an effort to assist the homeowner the SBCAO participated in the site inspection to verify potential building code violations caused during the construction of the home in the factory. The Loudoun County Building Department had previously noted potential violations as:

1. Stairs leading to wing off of kitchen – treads were temporary and did not meet the profile requirements and had open risers in excess of 4 inches.
2. Stairways to the second and third floors did not meet the requirements of section R311.5.2 headroom.
3. Ms. Madison also complained that the home was certified for a 200 amp service but was provided with a 400 amp service.

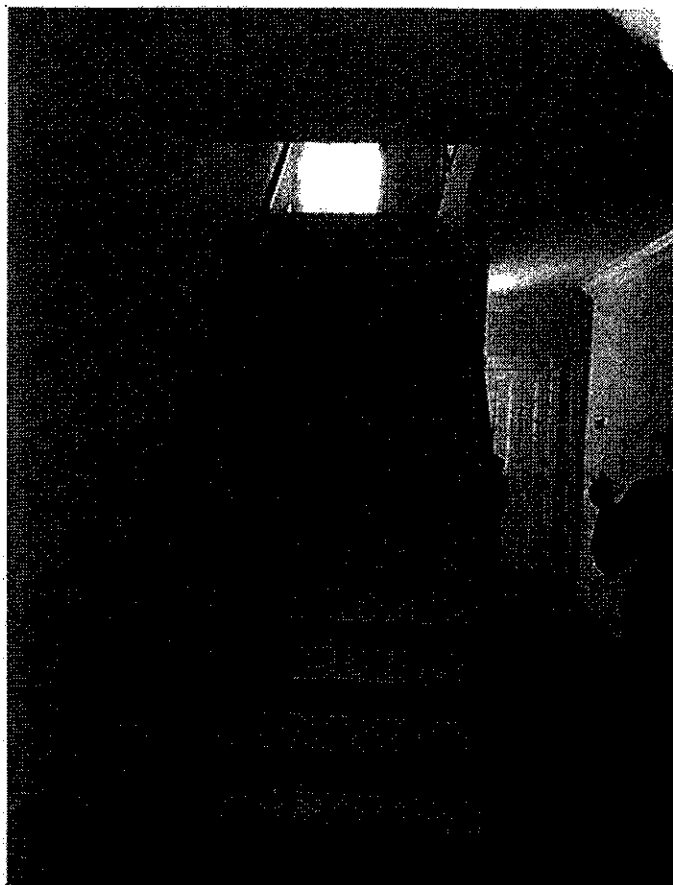
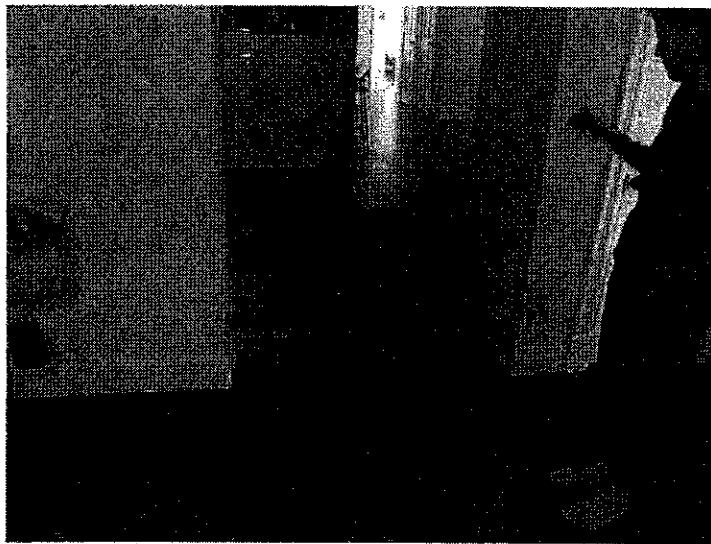
Present during the inspection:

Milari Madison – Homeowner
Chris Thompson, Loudoun Co. Building Department
Eric Tompos, P.E., NTA Inc..
Ken Potter, Rudnitsky & Hachman
Cindy Davis, SBCAO
Eric Leatherby – SBCAO

Observations

1. Stairs to wing off kitchen were site constructed and the openings between treads had been filled.
2. Stairway to second floor. Headroom measured approx. 6'-4" when measured with diagonal plane and 6'-8" when measured vertically. The headroom for the stairway to the third floor was approx. 4' near the top of the stairs due to the slope of the roof rafters.
3. Electrical service. The building plans and electrical calculations approved by NTA show a 200 amp service. Observed 2- 200 amp breaker panels mounted in the basement. One breaker panel appears to have been wired for factory installed outlets and fixtures and the other panel box appears to have been wired for site installed outlets and equipment. It appears that one panel box was shipped loose from the factory for the wiring of site installed fixtures and equipment.
4. Observed other non building code cosmetic items such as drywall blemishes, loose and missing trim, etc.

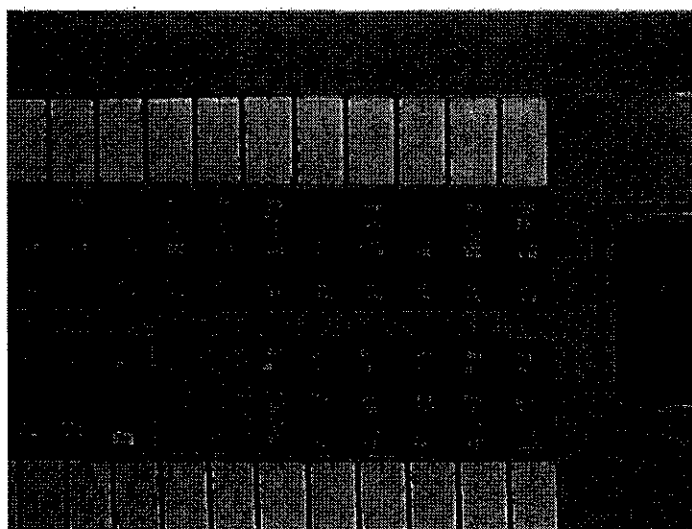
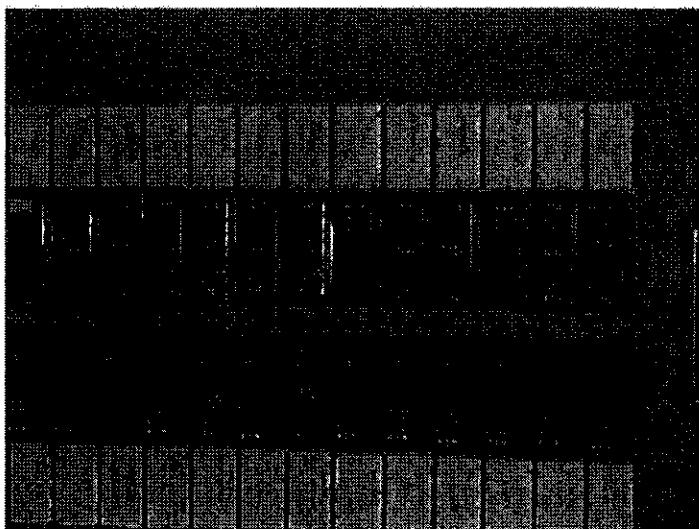
Eric Leatherby
Sr. Construction Inspector II
State Building Code Administrative Office



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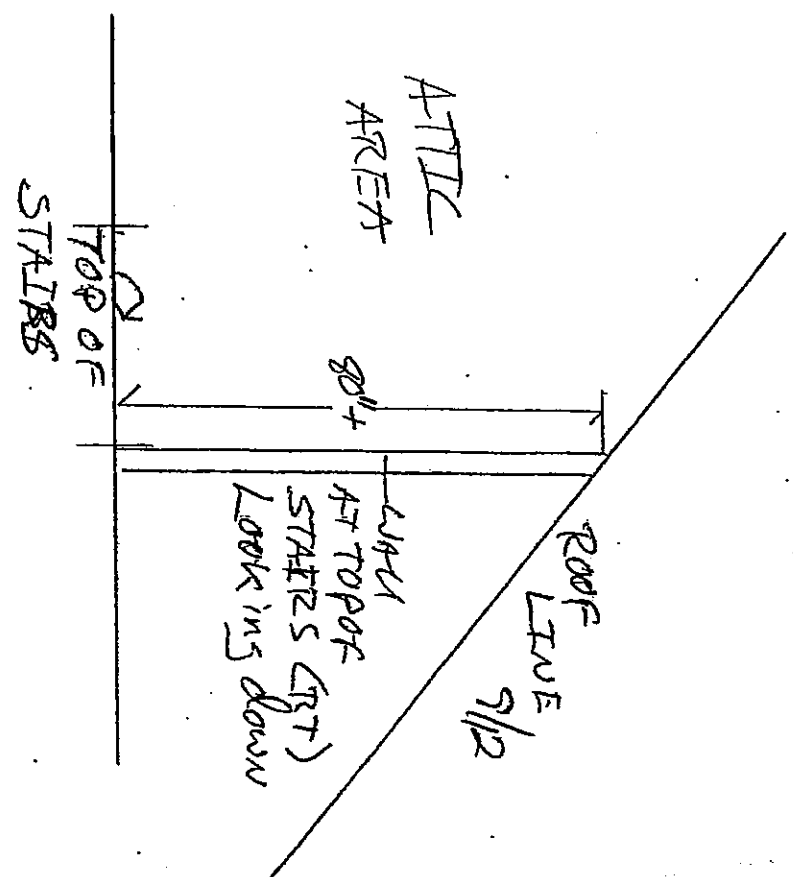
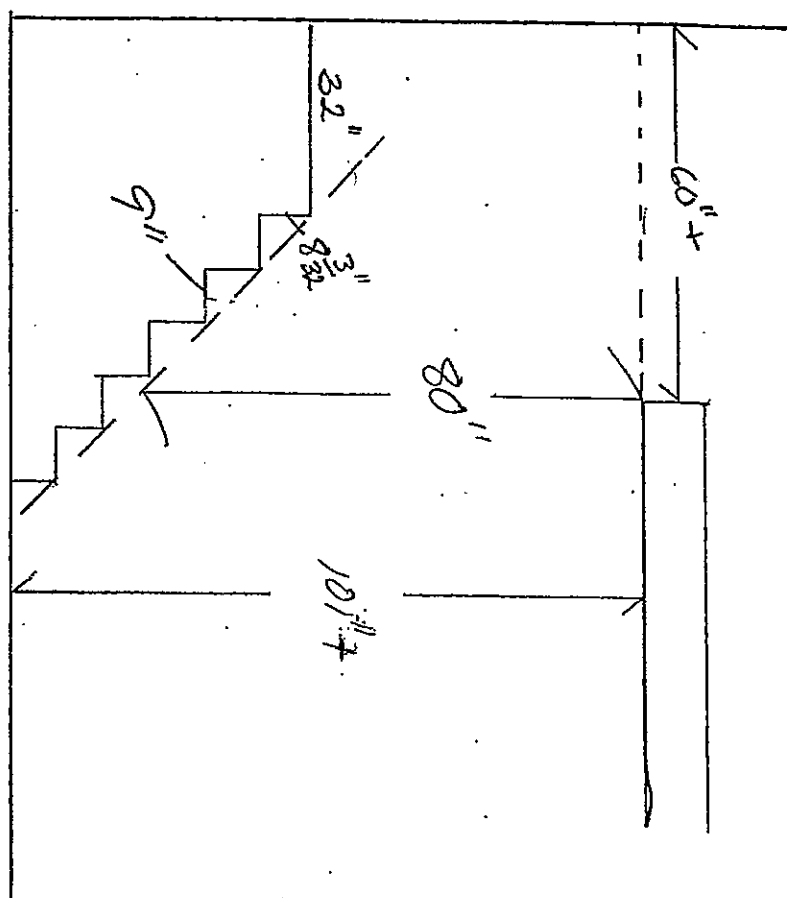


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THIS PARTICULAR CRITICAL
HEAD HEIGHT HAS BEEN
DBL CHECKED BY CONSTRUCTING
A PHYSICAL MOCK-UP.



MAIN SUPPORT BEAM
Existing Framing

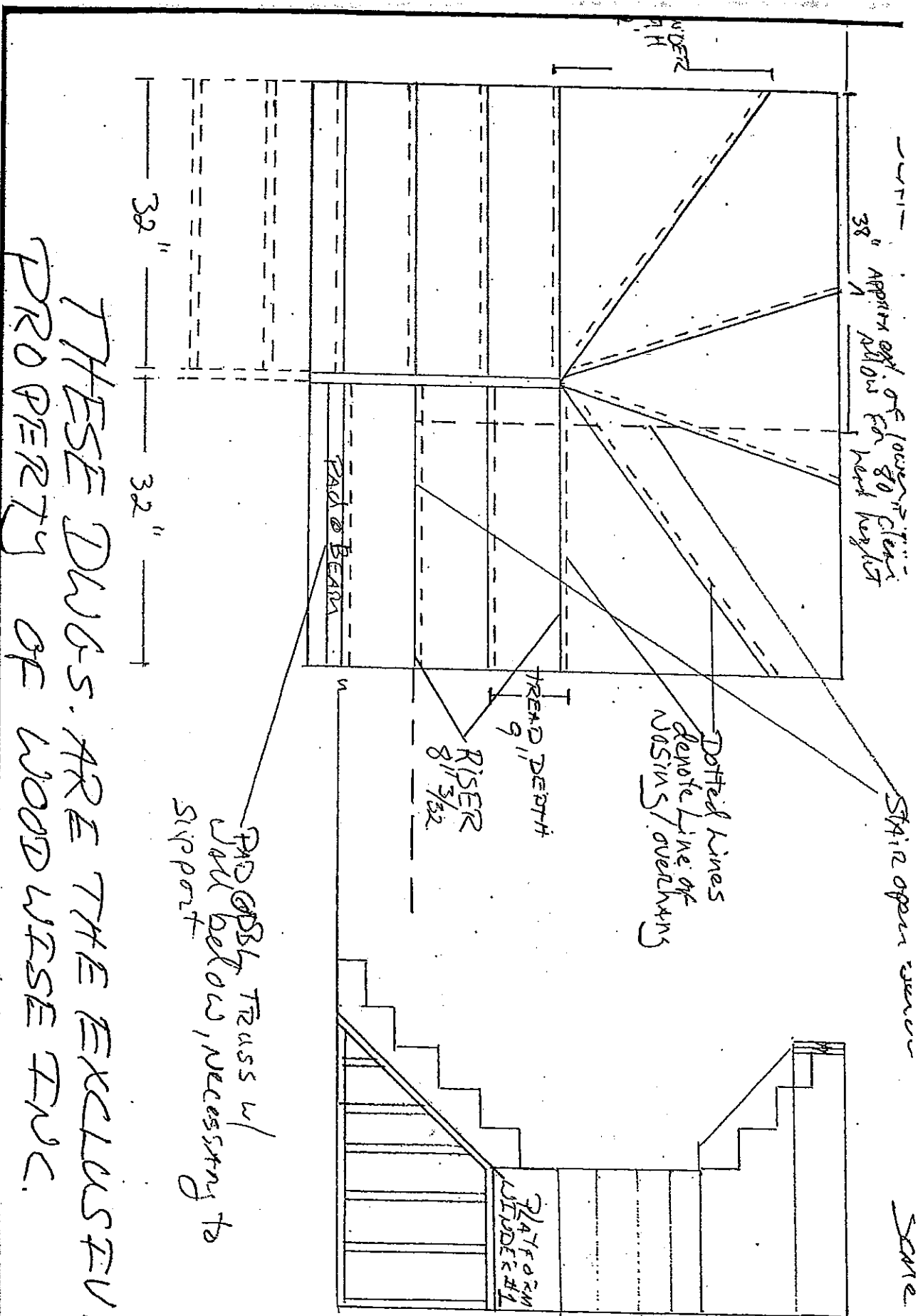
Existing Header
(bottom of attic
stairs)

9'

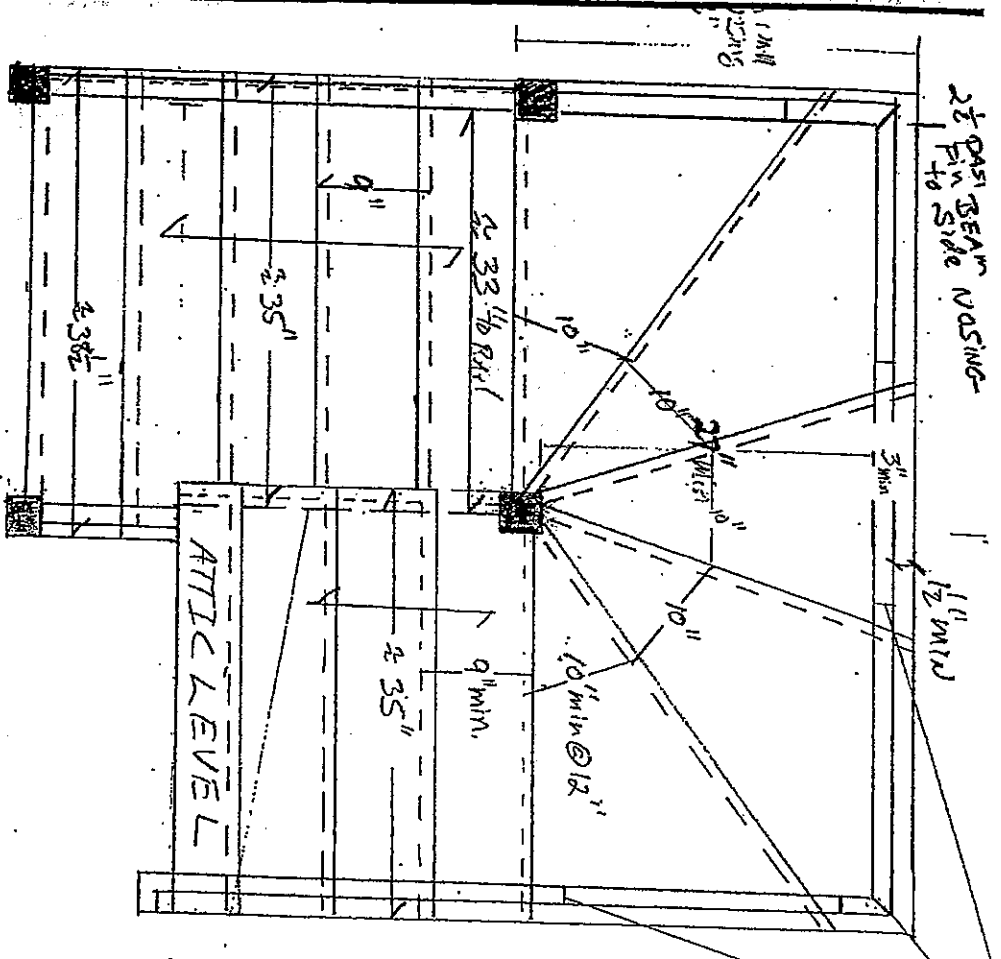
6 1/2" 4 1/2"

Existing
truss locations

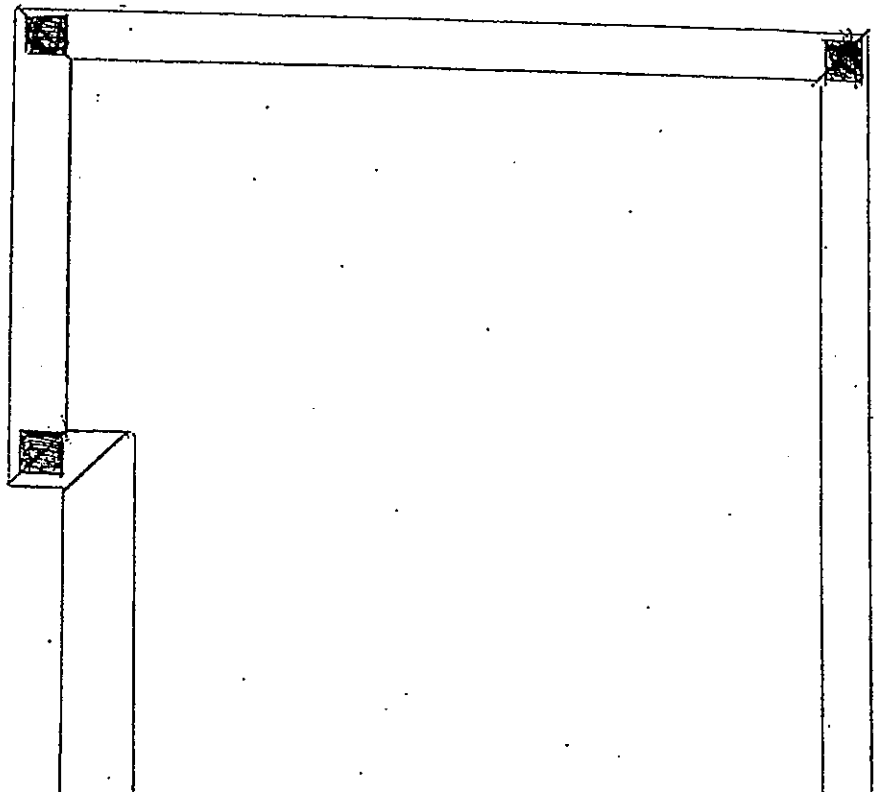
Ex'l. Wall



THESE DIMS. ARE THE EXCLUSIVE PROPERTY OF WOOD WASTE INC.



OF HAND BELOW
UPPER STAIRS

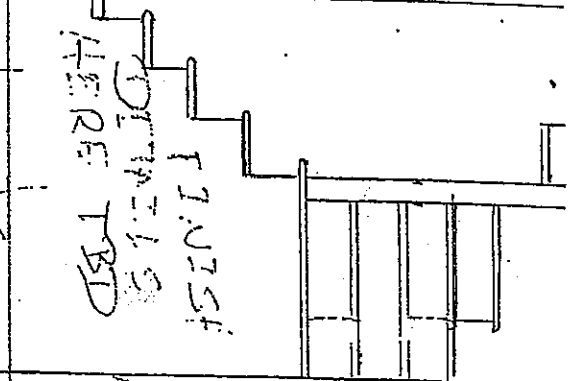
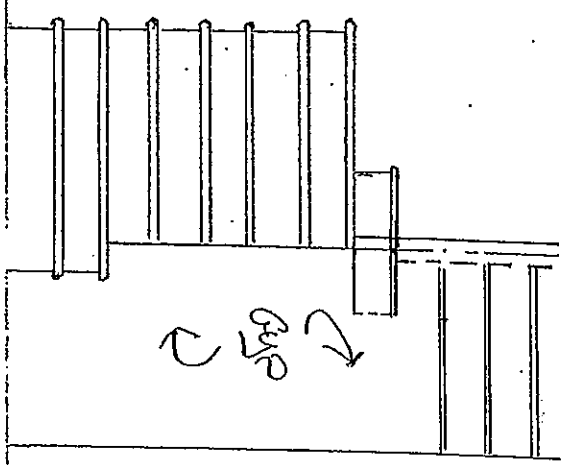
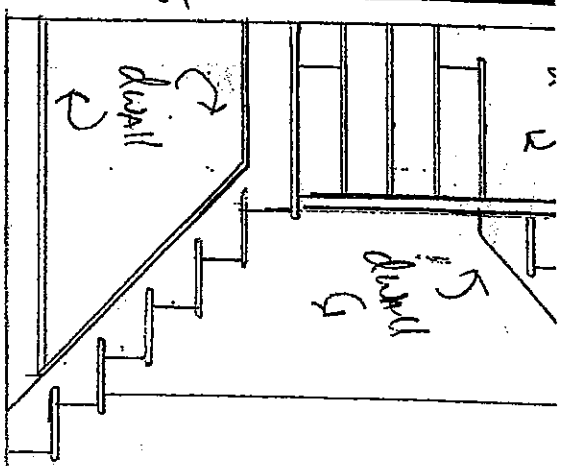


THESE DRAILINGS ARE

TOTAL POSTS = 6 + 1 extra long
RAIL LINEAR FEET ≈ 28'

ATTIC RAIL

PL 4 N



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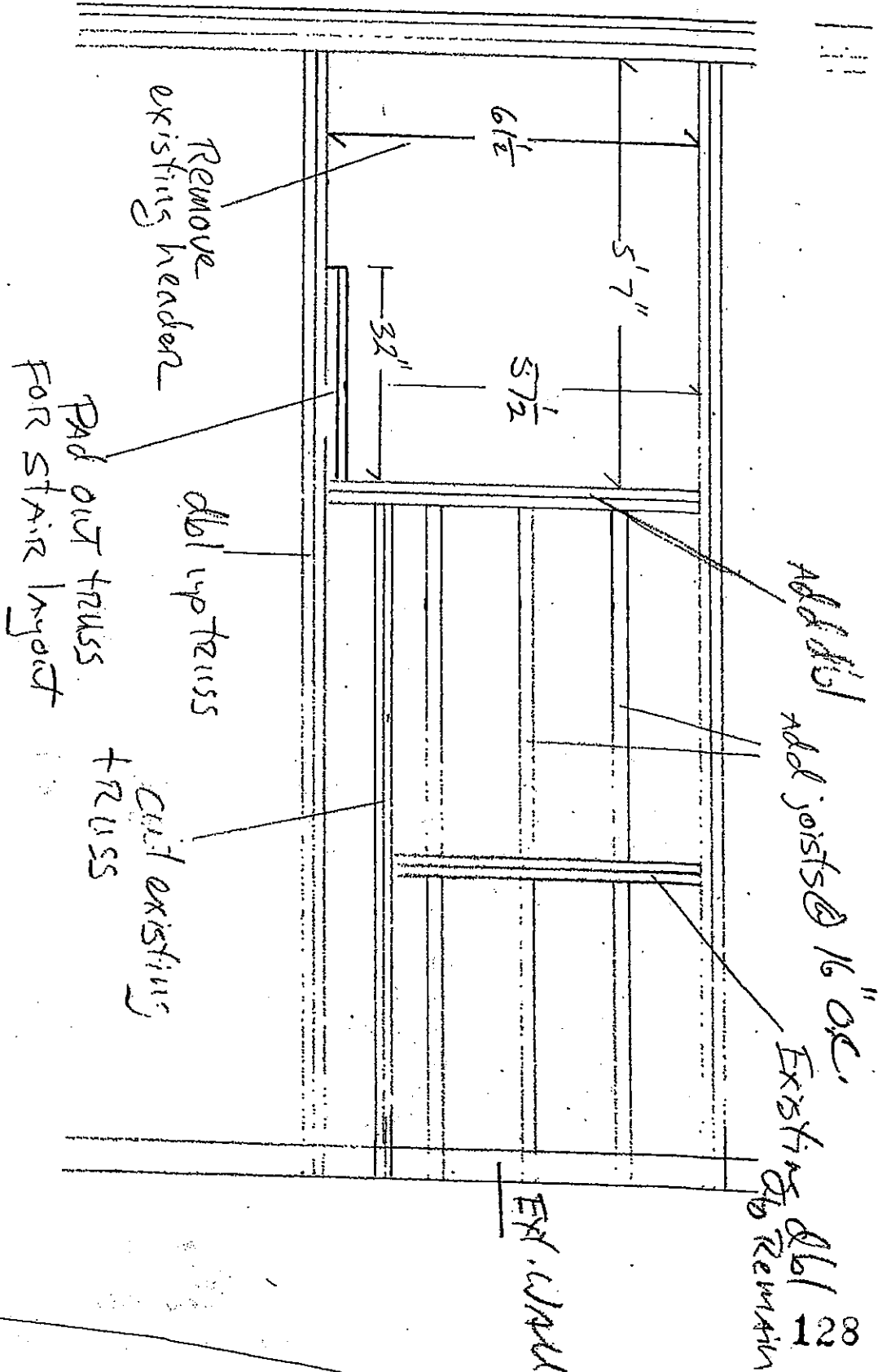
VIEW FROM FRONT PERP. TO EXISTING STAIRS

1. OVER STAIRS

FINISH DETAILS HERE

VIEW FROM

THROW





Robert F. McDonnell
Governor

James S. Cheng
Secretary of
Commerce and Trade

COMMONWEALTH of VIRGINIA

William C. Shelton
Director

DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT

May 8, 2012

Mr. Ken Potter
Rudnitsky and Hackman
1372 N. Sesquehanna Trail
Suite 130
Selinsgrove, PA 17870

Subject: Malari Madison consumer complaint
40153 Janney Street
Waterford, VA 20197

Dear Mr. Potter:

The State Building Code Administrative Office (SBCAO) enforces the Virginia Industrialized Building Safety Regulations and acts as the building official for registered industrialized buildings, commonly referred to as modular homes. As the building official the SBCAO is authorized to cite the manufacturer for building code violations that are introduced during production in the factory.

A site inspection was conducted at the home of Ms. Malari Madison at the above referenced address on April 9, 2012. The purpose of the inspection was to determine the extent of potential building code violations that were introduced by the builder of Ms. Madison's modular home, Integrity Building Systems, Inc. of Milton, PA.

Present during the inspection:

Eric Tompos, P.E., NTA
Ken Potter, Rudnitsky & Hackman, legal representative for Milton Homes
Chris Thompson, Loudon County Building Department
Cindy Davis, SBCAO
Eric Leatherby, SBCAO
Malori Madison, Homeowner.

Partners for Better Communities



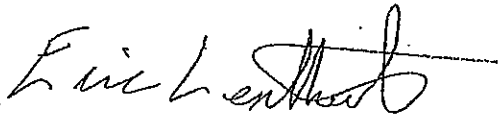
www.dhcd.virginia.gov

It is my understanding that Mr. Tompos has prepared a report identifying potential building code violations caused by Integrity Building Systems and has submitted that report to Milton Homes (formerly doing business as Integrity Building Systems) for their consideration of remedial actions.

Please advise this office within twenty days of the date of this letter of the decision by your client, Milton Homes, as to what actions they plan to make regarding this matter.

Please feel free to contact me at 804-371-7165 if you have any questions regarding this matter.

Sincerely,



Eric Leatherby
Sr. Construction Inspector II
State Building Code Administrative Office

cc: Emory Rodgers, Deputy Director – DHCD
Cindy Davis, State Building Code Administrator
Milari Madison



Robert F. McDonnell
Governor

James S. Cheng
Secretary of
Commerce and Trade

COMMONWEALTH of VIRGINIA

William C. Shelton
Director

DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT

May 9, 2012

Mr. Eric Tompos, P.E.
NTA, Inc.
305 N. Oakland Ave.
P.O. Box 490
Nappanee, IN 46550-0490

Subject: Malari Madison site inspection
40153 Janney Street
Waterford, VA 20197

Dear Mr. Tompos:

On April 9, 2012 you performed a site inspection of an industrialized building (modular home) located at the above address. This home is the subject of a consumer complaint filed with this office by the homeowner Ms. Malari Madison. The home was constructed by Integrity Building Systems, Inc. of Milton, PA based on building plans approved by NTA, Inc. on July 14, 2011.

It is my understanding that the inspection was performed at the request of Milton Homes (formerly doing business as Integrity Building Systems) and that you prepared and submitted an inspection report based on your findings.

As you are aware, the Virginia State Building Code Administrative Office serves as the building official for all factory built portions of registered industrialized buildings and has been in communication with your company, NTA, Inc. regarding this complaint.

This office requests that you provide a copy of the inspection report to assist us in our investigation of this consumer complaint.

Your cooperation in this matter is greatly appreciated.

Please feel free to contact me at 804-371-7165 if you have any questions.

Sincerely,

Eric Leatherby
Sr. Construction Inspector II
State Building Code Administrative Office

Partners for Better Communities



www.dhcd.virginia.gov

Leatherby, Eric (DHCD)

From: Leatherby, Eric (DHCD)
Sent: Friday, May 18, 2012 9:38 AM
To: Davis, Cindy (DHCD)
Subject: Malari Madison NTA inspection report

Cindy,

FYI

I received a voice mail from Eric Tompos, NTA, regarding our request for a copy of the inspection report of Ms. Madison's home that was based on the April 9, 2012 inspection performed by Mr. Tompos.

Mr. Tompos stated that he discussed this with his client, Mr. Ken Potter, attorney for Milton Homes. Mr. Potter indicated that he does not want to release any information until they have come to a resolution with Ms. Madison.

It is my understanding that Mr. Potter is meeting with Milton Homes on May 23, 2012 to discuss the inspection report and what corrective actions need to be taken.

Eric

Rudnitsky & Hackman, L.L.P.

Attorneys at Law

Courtyard Offices
1372 N. Susquehanna Trail, Suite 130
Selinsgrove, Pennsylvania 17870

Telephone (570) 743-2333

Fax (570) 743-2347

www.rudnitskyhackman.com



May 30, 2012

Eric Leatherby, Sr. Construction Inspector II
Commonwealth of Virginia
Department of Housing & Community Development
600 East Main Street, Suite 300
Richmond, VA 23219

Re: Malari Madison
Integrity Building Systems, Inc.
Pre-manufactured Home
40153 Janney Street
Waterford, VA 20197

Dear Mr. Leatherby:

Please allow this correspondence to serve as a response to your letter dated May 8, 2012 and to memorialize our conversation on May 29, 2012 regarding the above-referenced matter.

In response to our evaluation of this matter, my client, Milton Home Systems, Inc., has made a monetary settlement offer to Mrs. Madison. I am awaiting a response from Mrs. Madison regarding said offer. Please be advised that any report or information provided to me by my expert, Mr. Tompos, is confidential and privileged work product and will not be provided to any parties to this matter.

Please feel free to contact me with any questions or comments.

Very truly yours,

RUDNITSKY & HACKMAN, LLP

KENNETH G. POTTER

Email to potter@rudnitskyhackman.com

KGP:peb
u:\integrity\madison\leatherby.5.30.12.

THIS CORRESPONDENCE IS FOR PURPOSES OF SETTLEMENT NEGOTIATIONS ONLY AND CANNOT BE USED FOR LITIGATION IN ANY WAY OR MANNER.

Leatherby, Eric (DHCD)

From: Leatherby, Eric (DHCD)
Sent: Monday, August 13, 2012 9:25 AM
To: Davis, Cindy (DHCD)
Subject: RE: Misc.
Attachments: image002.gif

Spoke with Loudon County Building inspector, Chris Thompson this morning. He said Ms. Madison has not called for a final inspection of the stairs. He said he inspected a landing 2 weeks ago but has not heard from her since.

From: Davis, Cindy (DHCD)
Sent: Friday, August 10, 2012 1:16 PM
To: Leatherby, Eric (DHCD)
Cc: Rodgers, Emory (DHCD)
Subject: FW: Misc.

Eric,
Update on this? Did you talk to BO? Has this been closed out?

From: Davis, Cindy (DHCD)
Sent: Wednesday, June 20, 2012 1:22 PM
To: Leatherby, Eric (DHCD)
Cc: Rodgers, Emory (DHCD)
Subject: Misc.

Eric:

Also, please follow-up with the Building Official in Waterford to check on the status of the Milari Madison complaint. Emory, we received a letter from the attorney refusing us access to the NTA report and indicating in writing that they (Milton Homes) have made a settlement offer to Madison. I've put a copy of the letter on your desk. We need to make a final determination on whether or not we are going to issue a NOV and to whom. I would think that the offer of a settlement implies some culpability on the part of Milton???? Whether or not we want to consider that I'm not sure. Just to Integrity, the original name, they no longer exist or to Milton the subsequent company that is making the monetary offer and denying us the report. Interesting situation.

One way or another, I would like to have this finalized by the end of next week.

Thanks

Cindy L. Davis, C.B.O., State Building Code Administrator
VA Dept. of Housing and Community Development
600 E. Main Street - Suite 1100
Richmond, VA 23219
PH: 804-371-7161
AX: 804-371-7092
Cindy.Davis@dhcd.virginia.gov



Robert F. McDonnell
Governor

James S. Cheng
Secretary of
Commerce and Trade

COMMONWEALTH of VIRGINIA

William C. Shelton
Director

DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT

August 20, 2012

Ms. Millari Madison
40153 Janney Street
Waterford, VA 20197

Dear Ms. Madison,

I am in receipt of your August 16, 2012 e-mail regarding your modular home complaint. You have requested that this office provide you with "any document sent to NTA directing the correction of the building code violations" at your property. Please be advised that this office has not sent any documents to NTA directing them to correct any building code violations.

As you are aware, based on past correspondence and conversations, the State Building Codes Office acts as the building official for registered industrialized buildings, commonly referred to as modular homes. As the building official this office is authorized to cite the manufacturer for building code violations that are introduced during production in the factory. NTA is not the manufacturer of your home and therefore this office cannot direct them to correct building code violations caused by another entity. Integrity Building Systems, Inc. manufactured your home and would be the proper party to cite for any factory violations. However as we previously reported to you, this office received notice from Integrity Building Systems on October 21, 2011 that effective November 17, 2011 they were ceasing all operations and their assets were being sold to another manufacturer. As Integrity Building Systems is no longer in business we are unable to cite the manufacturer for the potential violations listed in your complaint.

It is our understanding that individuals associated with Integrity Building Systems later formed a new and unrelated business entity called Milton Home Systems, Inc., based on the information you provided. This office cannot cite Milton Homes Systems as they did not manufacture your home.

The primary issue contained in your December 15, 2011 complaint to this office was the insufficient headroom provided in the stairway to the third story of your home. The Loudoun County building department had previously cited this as well as insufficient headroom in the stairway leading to the second story as violations caused by the manufacturer.

Partners for Better Communities



www.dhcd.virginia.gov

In an effort to assist you in resolving your complaint, representatives from this office, the Loudoun County building department, NTA and Milton Homes met at your home on April 9, 2012 to verify the cited building code violations and seek a possible resolution.

Correspondence dated May 30, 2012 from the attorney representing Milton Home Systems, Inc. stated that a monetary settlement had been offered to you to resolve your issues with Integrity Building Systems, Inc. (see attached). The Loudoun County Building Department subsequently advised this office that work was being performed to construct a new stairway to the top story of your home, based on plans that had been reviewed and approved by their department. Loudoun County has advised this office that they have performed rough-in inspections of the new stairway.

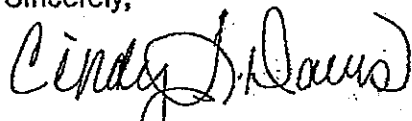
Your e-mail also states that NTA certified that the home has a 200-amp electrical service, although in actuality the home has two 200 amp electrical services. The building plans that Integrity submitted to NTA for approval show one 200 amp panel along with calculations for one 200 amp panel. It appears that the second 200 amp panel was shipped loose with the home for the wiring of site installed equipment and outlets. The Loudoun County building department is the authority having jurisdiction for the site installation and wiring of this panel.

As this office is unable to proceed further with this case this file will be administratively closed.

Pursuant to section 13 VAC 5-91-70 of the Virginia Industrialized Building Safety Regulations any person aggrieved by the Department of Housing and Community Development's (DHCD) application of this chapter shall be heard by the State Review Board established by §36-108 of the Code of Virginia. Such appeal shall be submitted within 21 calendar days of receipt of DHCD's decision. A copy of the decision of DHCD to be appealed shall be submitted with the application for appeal. Failure to submit an application for appeal within the time limit established by this section shall constitute acceptance of DHCD's decision. For your convenience, I have enclosed an application.

Please contact me at 804-371-7150 or by email at cindy.davis@dhcd.virginia.gov, if you have any questions regarding this matter.

Sincerely,



Cindy L. Davis
State Building Codes Director

Attachment

C: Christopher Thompson, Loudoun Co.
Emory Rodgers
Eric Leatherby

Rudnitsky & Hackman, L.L.P.

Attorneys at Law

Courtyard Offices
1372 N. Susquehanna Trail, Suite 130
Sellingsgrove, Pennsylvania 17870

Telephone (570) 743-2333

Fax (570) 743-2347

www.rudnitskyhackman.com



May 30, 2012

Eric Leatherby, Sr. Construction Inspector II
Commonwealth of Virginia
Department of Housing & Community Development
600 East Main Street, Suite 300
Richmond, VA 23219

Re: Malari Madison
Integrity Building Systems, Inc.
Pre-manufactured Home
40153 Janney Street
Waterford, VA 20197

Dear Mr. Leatherby:

Please allow this correspondence to serve as a response to your letter dated May 8, 2012 and to memorialize our conversation on May 29, 2012 regarding the above-referenced matter.

In response to our evaluation of this matter, my client, Milton Home Systems, Inc., has made a monetary settlement offer to Mrs. Madison. I am awaiting a response from Mrs. Madison regarding said offer. Please be advised that any report or information provided to me by my expert, Mr. Tompos, is confidential and privileged work product and will not be provided to any parties to this matter.

Please feel free to contact me with any questions or comments.

Very truly yours,

RUDNITSKY & HACKMAN, LLP

KENNETH G. POTTER

Email to potter@rudnitskyhackman.com

KGP:peb
u:\integrity\madison\leatherby.5.30.12.

THIS CORRESPONDENCE IS FOR PURPOSES OF SETTLEMENT NEGOTIATIONS ONLY AND CANNOT BE USED FOR LITIGATION IN ANY WAY OR MANNER.

COMMONWEALTH OF VIRGINIA
DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT
State Building Codes Office and Office of the State Technical Review Board
Main Street Centre, 600 E. Main Street, Suite 300, Richmond, Virginia 23219
Tel: (804) 371-7150, Fax: (804) 371-7092, Email: alan.mcmahan@dhd.virginia.gov

APPLICATION FOR ADMINISTRATIVE APPEAL

Regulation Serving as Basis of Appeal (check one):

- ☐ Uniform Statewide Building Code
- ☐ Statewide Fire Prevention Code
- ☐ Industrialized Building Safety Regulations
- ☐ Amusement Device Regulations

Appealing Party Information (name, address, telephone number and email address):

Opposing Party Information (name, address, telephone number and email address of all other parties):

Additional Information (to be submitted with this application)

- ☐ Copy of enforcement decision being appealed
- ☐ Copy of record and decision of local government appeals board (if applicable and available)
- ☐ Statement of specific relief sought

CERTIFICATE OF SERVICE

I hereby certify that on the _____ day of _____, 201_, a completed copy of this application, including the additional information required above, was either mailed, hand delivered, emailed or sent by facsimile to the Office of the State Technical Review Board and to all opposing parties listed.

Note: This application must be received by the Office of the State Technical Review Board within five (5) working days of the date on the above certificate of service for that date to be considered as the filing date of the appeal. If not received within five (5) working days, the date this application is actually received by the Office of the Review Board will be considered to be the filing date.

Signature of Applicant: _____

Name of Applicant: _____
(please print or type)

Leatherby, Eric (DHCD)

From: Thompson, Chris [Chris.Thompson@loudoun.gov]
Sent: Tuesday, September 04, 2012 8:41 AM
To: Hunter Madison; Leatherby, Eric (DHCD)
Subject: RE: A question---- Please issue the NOV

Milari,
The county never received plans for the items you are referring to.
The plans would have to have a stamp from a design professional. We would typically ask for an engineers seal on those drawings.
Chris

From: Hunter Madison [mailto:huntermadison2002@yahoo.com]
Sent: Monday, September 03, 2012 7:24 PM
To: Thompson, Chris; Eric.Leaherby@dhcd.virginia.gov
Subject: A question---- Please issue the NOV

Chris,

Milton (formerly IBS) demolished the wall from the second floor to the third floor without my consent or knowledge. Is it an additional violation of 103.5 because in doing so, they created the unguarded opening from the second floor down to the first floor, and no railing or barrier up to the third floor, and they left the hot electrical lines dangling from the ceiling. It seems to me that they lowered the existing levels of safety.

103.5 Reconstruction, alteration or repair. The following criteria is applicable to reconstruction, alteration or repair of buildings or structures: 1. Any reconstruction, alteration or repair shall not adversely affect the performance of the building or structure, or cause the building or structure to become unsafe or lower existing levels of health and safety.

Also, Milton provided a "plan" to install a spiral staircase that their unlicensed staff began to implement without my written approval. I found them in the house, after they removed the wall and were preparing to cut open the attic floor to accommodate the box for the spiral. I asked them to see a copy of the "plan" they were using. It was obvious that the center pole, in reality, would have no floor to sit on, that the location as they showed it would place the pole upon the open air of the stairway below. They agreed the plan would fail, called their supervisor, and went home. Were the drawings they submitted to the County actually "stamped" by their engineer? If not, did they need to be stamped in order to comply with the requirement of 109.3 of the USBC? What engineer stamped them or was that repair "plan" approved by NTA? The reliance upon the "drawings/plans" to remove the wall, and their "repair" action, caused additional unsafe conditions.

109.3 Engineering details.

All engineered documents, including relevant computations, shall be sealed by the RDP responsible for the design.

A NOV should be issued against Milton and NTA. I think it is appropriate to add 103.5 noted from the USBC. Can you please confirm if spiral stair plans was stamped by an engineer and was such a stamp necessary?

COMMONWEALTH OF VIRGINIA
DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT
State Building Codes Office and Office of the State Technical Review Board
Main Street Centre, 600 E. Main Street, Suite 300, Richmond, Virginia 23219
Tel: (804) 371-7150; Fax: (804) 371-7092; Email: alan.mcmahan@dhd.virginia.gov

APPLICATION FOR ADMINISTRATIVE APPEAL

Regulation Serving as Basis of Appeal (check one):

☒ Uniform Statewide Building Code

☐ Statewide Fire Prevention Code

☒ Industrialized Building Safety Regulations "letter" no cited code or regulations provided

☐ Amusement Device Regulations

Appealing Party Information (name, address, telephone number and email address):

Milare Madison
40153 Sunny Street, Box 302
Waterford VA 540-882-3160

Opposing Party Information (name, address, telephone number and email address of all other parties):
Huntermadison2002@yahoo.com

DHCD, SRC official IR.

Additional Information (to be submitted with this application)

- ☒ Copy of enforcement decision being appealed
☐ Copy of record and decision of local government appeals board (if applicable and available)
☒ Statement of specific relief sought

CERTIFICATE OF SERVICE

I hereby certify that on the 5th day of September, 2012, a completed copy of this application, including the additional information required above, was either mailed, hand delivered, emailed or sent by facsimile to the Office of the State Technical Review Board and to all opposing parties listed.

Note: This application must be received by the Office of the State Technical Review Board within five (5) working days of the date on the above certificate of service for that date to be considered as the filing date of the appeal. If not received within five (5) working days, the date this application is actually received by the Office of the Review Board will be considered to be the filing date.

Signature of Applicant:

Milare Madison

Name of Applicant:

Milare Madison

(please print or type)

Milari Madison
40153 Jamney Street
P.O. Box 302
Waterford, VA 20197

September 5, 2012

Re: Appeal to August 20, 2012 "letter" by Ms. Cindy Davis

Ms. Davis's "letter" is based on a factual error, assumptions, opinion, and the misapplication and interpretation of Virginia law (letter attached). Under the direction of Mr. Emory Rodgers, the attached letter is subject to appeal. It should be noted, DHCD failed to provide any published guidelines/rules/or code sections relied upon in the "letter" to formulate the conclusions.

DHCD relies upon on a false assumption that Integrity Business Systems, Inc. was/is somehow "out of business" and therefore no longer subject to applicable code. Worse, the Davis "letter" erroneously proposes that this information (Integrity Business Systems, Inc. is out of business), was supplied by me. Contrariwise, as found in the excerpt from the email below, DHCD was specifically advised that Integrity Business Systems only changed their name.

From: Hunter Madison [mailto:huntermadison2002@yahoo.com]
Sent: Thursday, February 02, 2012 12:54 PM
To: Brock, Larry (DHCD); Leatherby, Eric (DHCD)
Cc: Chris Thompson
Subject: Madison complaint, Integrity Building Systems

Dear Larry and Eric,

You may know this already---

I just got off the phone with the Pennsylvania Corporation Commission. They told me that Integrity Building Systems Inc. changed their name on 11-16-2011 to Milton Home Systems, Inc. with Richard Rowe remaining as President, Glenn Salsman remaining as Secretary. Glenn Salsman signed the Performance Agreement. The same address appears for Milton Home Systems, Inc as Integrity held, 2436 Housels Run Road, Milton, PA 17847.

No merge or acquisition papers have been filed. She is sending me a copy of the paperwork she has on file.

The Virginia law is very clear that "The change of a corporation's name is not a change of the identity of a corporation and has no effect on the corporation's property, rights, or liabilities." *Alley v. Miramon*, 614 F.2d 1372, 1384 (5th Cir. 1980); see also *Wright-Caesar Tobacco Co. v. A. Hoen & Co.*, 54 S.E. 309, 311 (Va. 1906) (the Virginia Supreme Court did not permit a company to avoid liability by changing its name where the successor company was "but a continuation" of the first company). DHCD has no

authority conferred upon it to make up a new interpretation of established VA law for the purpose of not enforcing state building code in this instant matter.

Attached is a letter from the Integrity Building Systems, Inc. attorney (now doing business as Milton Home Systems, Inc. "Milton"), that confirms they are not "out of business" but that they merely changed the company name. Integrity Business Systems, Inc. did NOT go out of business. The letter, dated February 10, 2012 states "This firm is counsel to Milton Home Systems, Inc., successor by name change to Integrity Building Systems, Inc."

The names of the officers remain the same "persons" and are subject to the provisions of the code regardless of what company name they built, sold, set, and altered the house under 13 VAC 5-91-90. Penalty for violation. In accordance with § 36-83 of the Code of Virginia, any persons, firm or corporation violating any provisions of this chapter shall be considered guilty of a Class 1 misdemeanor and, upon conviction, shall be fined not more than \$1,000 to prosecute.

DHCD is required under the law, at § 36-83.5. Enforcement, to "seek enforcement of the civil and criminal penalties established by § 36-83.12 of this law". However, DHCD has relied upon an *ad hoc* made up rule; the change of the company name means that no compliance is necessary and no action will be taken by DHCD.

Provided under 13VAC5-91-60, Notice of violation, DHCD has disregarded its duty. In accordance with § 36-82 of the Code of Virginia, whenever the administrator shall find any violation of this chapter, he shall order the person responsible to bring the building into compliance within a reasonable time, to be fixed in the order. In addition, as a requirement of this chapter, the administrator may request assistance from the building official for enforcement of this section.

13VAC5-91-100. Duties and responsibilities of building officials in the installation or erection of a registered industrialized building at (C); when a building official determines that a violation of any provision of this section is present, the responsible person shall be notified and given a reasonable time to correct the violation. If the violation is not corrected, the building official shall institute the appropriate proceedings to require correction or abatement of the violation and may prohibit the occupancy of the building until the violation is corrected." The provisions of the law cannot be more clear, shall does not mean maybe.

At 13VAC5-91-20, Application and compliance (c), the VAC provides that "the installation or erection of industrialized buildings and alterations, additions, or repairs to industrialized buildings are regulated by the USBC". The provisions of this chapter "do not prohibit the administrative provisions of the USBC for permits, inspections, certificates of occupancy and other matters from being applicable to the extent they are not addressed by the requirements of this chapter." DHCD has a duty to protect the public from unscrupulous businesses and to protect the safety and welfare. However, in this instant matter, DHCD has made the irrational conclusion that a name change to a

business means they do not have any obligations or liabilities, as a business, entity, or persons in violation of the plain language of the code.

115.2 Notice of violation. The building official shall issue a written notice of violation to the responsible party if any violations of this code or any directives or orders of the building official have not been corrected or complied with in a reasonable time. The notice shall reference the code section upon which the notice is based and direct the discontinuance and abatement of the violation or the compliance with such directive or order. The notice shall be issued by either delivering a copy to the responsible party by mail to the last known address or delivering the notice in person or by leaving it in the possession of any person in charge of the premises, or by posting the notice in a conspicuous place if the person in charge of the premises cannot be found. The notice of violation shall indicate the right of appeal by referencing the appeals section. When the owner of the building or structure, or the permit holder for the construction in question, or the tenants of such building or structure, are not the responsible party to whom the notice of violation is issued, then a copy of the notice shall also be delivered to the such owner, permit holder or tenants.

DHCD is fully aware that violations to the code exist but simply prefers to do nothing. The Loudoun County Code Enforcement Division notes, in writing, by email dated February 28, 2012:

From: "Thompson, Chris" <Chris.Thompson@loudoun.gov>
To: Hunter Madison <huntermadison2002@yahoo.com>
"potter@rudnitskyhackman.com" <potter@rudnitskyhackman.com>
Cc: "Leatherby, Eric (DHCD)" <Eric.Leatherby@dhcd.virginia.gov>; "Brock, Larry (DHCD)" <Larry.Brock@dhcd.virginia.gov>

Milari,

There were several items in your home that were not code compliant. They were the stairs leading to the wing off the kitchen which did not meet the requirements of section R311.5.3.3 Profile. Specifically the treads were temporary and did not meet the profile requirements and had open risers in excess of 4 inches.

The stairway to the second floor did not meet the requirements of section R311.5.2 Headroom.

The stairway to the third floor did not meet the requirement of section R311.5.2 Headroom and R311.5.4 Landings for Stairways.

There are temporary guards that do not meet the requirements of section R312.1 Guards.

County of Loudoun
Building and Development
Code Enforcement Division
Chris Thompson

Other code violations directly caused by Milton were rectified at my additional expense including the installation of a guard rail to the basement (the stairs were set by Milton staff on-site causing a hazardous condition) and the dimensions of the chimney box (built

and set by Milton staff on-site). The chimney box size and conduit Milton built would not accommodate the chimney pipes per the manufacturer's specifications, was a potential danger, and does not comply with the plan. Milton directly violated section 103.5 Reconstruction, alteration or repair, which provides in part: "Any reconstruction, alteration or repair shall not adversely affect the performance of the building or structure, or cause the building or structure to become unsafe or lower existing levels of health and safety."

Milton provided a "plan" (without stamped drawings to the County) to install a spiral staircase that their unlicensed staff began to implement without my written approval that also violated section 103.5: "Any reconstruction, alteration or repair shall not adversely affect the performance of the building or structure, or cause the building or structure to become unsafe or lower existing levels of health and safety."

Milton staff was found in the house, after they removed the wall enclosing the staircase to the third floor, preparing to cut open the attic floor to accommodate the "box" for a spiral staircase (a spiral staircase was not bargained for as it provides diminished functionality and an undesirable detail for the planned residence). I asked Milton to see a copy of the "plan" they were using. It was obvious that the center pole, in reality, would have no floor to sit upon, that the location as they showed the center pole would place the pole above the open air of the stairway below. They agreed the plan would fail, called their supervisor, and went home. Milton staff apparently relied upon "drawings/plans", not stamped as required by 109.3 (Engineering details. All engineered documents, including relevant computations, shall be sealed by the RDP responsible for the design). Milton's "repair" actions caused additional unsafe conditions, leaving both staircases unguarded and dangling hot electrical wires coming down from the third floor, those wires feeding to the third floor and the wires embedded in the wall as removed by Milton.

NTA, INC

NTA Inc. is a "Compliance assurance agency" as defined under 13 VAC 5-91-10, meaning a "professional engineer registered in Virginia, or an organization, determined by DHCD to be *specialty qualified* by reason of facilities, personnel, experience, and demonstrated reliability, to investigate, test and evaluate industrialized buildings; to list such buildings complying with standards at least equal to this chapter; to provide adequate follow-up services at the point of manufacture to ensure that production units are in full compliance; and to provide a label as evidence of compliance on each manufactured section or module."

The units, although they do not meet code, have registration labels affixed to them by NTA Inc. that provide assurances that the units meet code when, in fact, they do not.

§ 36-79: Effect of label of compliance assurance agency. Any industrialized building shall be deemed to comply with the standards of the Board when bearing the label of a compliance assurance agency. As we know, the units contain "Mac Daddy" building code violations but were affixed with the labels anyway.

NTA Inc., failed to comply with the requirements as represented by NTA to DHCD but DHCD seems to look the other way. Since they are affixing labels that erroneously state that the structure meets code, they are in violation of the law and should not be permitted to act as a Compliance Assurance Agency, is required to fix the problems, and is subject to criminal prosecution. Contrary to the requirements mandated by 13 VAC 5-91-180, and 13 VAC 5-91-200, NTA states that "All complaints by parties are fully resolved" (S-1 page 12 of 14 of the NTA data package to DHCD). Further, @ S-3 page 12 of 14 NTA states "Corrective action for non-conforming work is to be performed." NTA has done nothing to cure the defects in the house contrary to their oath.

DHCD's "letter" is incorrect in its assumption that the house somehow was delivered with a "second 200 amp panel" that was "shipped loose" with the home. Although NTA certifies that the house's data plate is "correct" by stating the house has a 200 amp service, Milton shipped, built and wired the house for a 400 amp service, had both panels wired and had unlicensed staff endeavor to understand why the electric was not "working". Milton staff attempted to connect certain boxes, and simply said, on-site, they did not know what was wrong.

From: Martin Sickle <MartyS@integritybuild.com>
To: Hunter Madison <huntermadison2002@yahoo.com>
Sent: Wednesday, June 22, 2011 8:15 AM
Subject: RE: Mtr base sizing, two 200 amp panels

We are building the house with 2-200 amp service panels

Martin Sickle
V.P. Sales & Marketing
Integrity Building Systems, Inc.
2435 House's Run Road
Milton, PA 17847
Phone (800) 553-4402 Ext. 3629
Cell Phone (570) 274-3031
Fax: (570) 522-0089
msickle@integritybuild.com
www.integritybuild.com

Success is not what you get; it is what you become

From: Hunter Madison [mailto:huntermadison2002@yahoo.com]
Sent: Wed 6/22/2011 7:48 AM
To: Martin Sickle
Subject: Fw: Mtr base sizing, two 200 amp panels

Marty,

The power company maintains that I need two 200 amp panel boxes (see below). Darren said I need 400 amp service too.

Please confirm that this is done as I am having the power company bring in the

line ASAP.

Milton

13 VAC 5-91-90, Penalty for violation. In accordance with § 36-83 of the Code of Virginia, any persons, firm or corporation violating any provisions of this chapter shall be considered guilty of a Class 1 misdemeanor and, upon conviction, shall be fined not more than \$1,000 to prosecute.

PALTRY SETTLEMENT OFFER DOES NOT MEAN MILTON OR NTA, INC. ARE FREE OF DUTY

DHCD's "letter" is grossly remiss in suggesting that a paltry settlement offer from Milton should somehow negate NTA, Inc., Milton and DHCD duty under 13VAC5-91-100 and other applicable law, including the intent and purpose of state regulations.

The duty and responsibility of the building official in the installation or erection of a registered industrialized building include "When a building official determines that a violation of any provision of this section is present, the responsible person shall be notified and given a reasonable time to correct the violation. If the violation is not corrected, the building official shall institute the appropriate proceedings to require correction or abatement of the violation..."

Milton manufactured, delivered, set, and altered the dwelling that was not agreed upon in writing. NTA, Inc. provided assurance guarantees that the house met code and failed to perform under the NTA oath to DHCD. The approved plan was altered. The failure of the "Mac Daddy" code violation, the stairs, not only violates code, but results in a product that does not meet its intended purpose and poses an endangerment. The house is not level, was not watertight, was not delivered and set per the plan, or in compliance with the setting procedures provided by NTA Inc., and continues to suffer from cracks and buckling. It is simply disingenuous for DHCD to drop the ball, because the Milton's Pennsylvania attorney states that they made an "offer" to settle, an offer that fails to cover the expenditure to fix the numerous problems and other proper compensation.

RELIEF SOUGHT FROM THE TRB

The precedent of this type of "letter"/policy is significant. Are all companies, that come before a building official simply, going to change their name and walk away from obligations based on this *ad hoc* policy? I certainly hope DHCD does not incorporate such a policy into actual published guidelines for unscrupulous builders to enjoy.

I am requesting that the TRB direct the Building Code Official to issue the Notice of Violation to all companies, including Milton and NTA, Inc and responsible parties/persons including Mr. Tompos, Mr. Salsman, and Mr. Rowe noting the applicable violations including but not limited to:

R311.5.3.3 Profile. Specifically the treads were temporary and did not meet the profile requirements and had open risers in excess of 4 inches.

The stairway to the second floor did not meet the requirements of section.

R311.5.2 Headroom.

The stairway to the third floor did not meet the requirement of section R311.5.2 Headroom and R311.5.4 Landings for Stairways.

Temporary guards that do not meet the requirements of section R312.1 Guards.

103.5 Reconstruction, alteration or repair have caused additional dangerous and unsafe conditions, lowering safety, including dangling hot electric wires and unguarded stairways.

Failure to submit engineering details 109.3 (Engineering details)

Respectfully Submitted

Milari Madison

Milari Madison

Rudnitsky & Hackman, L.L.P.

Attorneys at Law

Courtyard Offices
1372 N. Susquehanna Trail, Suite 130
Seaside, Pennsylvania 17878

Telephone (570) 743-2333

Fax (570) 743-2347

www.rudnitskyhackman.com

February 10, 2012

Via Email & US First Class Mail

Paul G. Madison
Kelley, Drye & Warren, LLP
Washington Harbour, Suite 400
3050 K Street, NW
Washington, DC 20007-5108

Re: Milari Madison
BCP-12-05-000656

Dear Mr. Madison:

 This firm is counsel to Milton Home Systems, Inc., successor by name change to Integrity Building Systems, Inc.

We received a copy of a letter that Tim Finnerty, counsel for Integrity Building Systems LLC, directed to the Office of the Attorney General which details the circumstances regarding the sale and purchase in question. A copy is enclosed for your records. Attorney Finnerty has correctly described the structure of the transaction and the fact that this particular claim was not assumed by Integrity Building Systems LLC.

Having reviewed our client's file, we know that this matter has been ongoing for a number of months and that you may not have received a response to either your letter of September or December. Now that we are involved, we hope to engage in a productive discussion as to how this matter may be resolved.

Please direct any and all further communications regarding this matter to our office.

Very truly yours,

RUDNITSKY & HACKMAN, L.L.P.

BY:


KENNETH G. POTTER

Email to potter@rudnitskyhackman.com

Enclosure
cc: client

cc: Integrity Madison/T Madison 2.10.12



Robert F. McDonnell
Governor

James S. Cheng
Secretary of
Commerce and Trade

COMMONWEALTH of VIRGINIA

William C. Shelton
Director

DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT

August 20, 2012

Ms. Milani Madison
40153 Janney Street
Waterford, VA 20197

Dear Ms. Madison,

I am in receipt of your August 16, 2012 e-mail regarding your modular home complaint. You have requested that this office provide you with "any document sent to NTA directing the correction of the building code violations" at your property. Please be advised that this office has not sent any documents to NTA directing them to correct any building code violations.

As you are aware, based on past correspondence and conversations, the State Building Codes Office acts as the building official for registered industrialized buildings, commonly referred to as modular homes. As the building official this office is authorized to cite the manufacturer for building code violations that are introduced during production in the factory. NTA is not the manufacturer of your home and therefore this office cannot direct them to correct building code violations caused by another entity. Integrity Building Systems, Inc. manufactured your home and would be the proper party to cite for any factory violations. However as we previously reported to you, this office received notice from Integrity Building Systems on October 21, 2011 that effective November 17, 2011 they were ceasing all operations and their assets were being sold to another manufacturer. As Integrity Building Systems is no longer in business we are unable to cite the manufacturer for the potential violations listed in your complaint.

It is our understanding that individuals associated with Integrity Building Systems later formed a new and unrelated business entity called Milton Home Systems, Inc., based on the information you provided. This office cannot cite Milton Homes Systems as they did not manufacture your home.

The primary issue contained in your December 15, 2011 complaint to this office was the insufficient headroom provided in the stairway to the third story of your home. The Loudoun County building department had previously cited this as well as insufficient headroom in the stairway leading to the second story as violations caused by the manufacturer.

Partners for Better Communities



www.dhcd.virginia.gov

In an effort to assist you in resolving your complaint, representatives from this office, the Loudoun County building department, NTA and Milton Homes met at your home on April 9, 2012 to verify the cited building code violations and seek a possible resolution.

Correspondence dated May 30, 2012 from the attorney representing Milton Home Systems, Inc. stated that a monetary settlement had been offered to you to resolve your issues with Integrity Building Systems, Inc. (see attached). The Loudoun County Building Department subsequently advised this office that work was being performed to construct a new stairway to the top story of your home, based on plans that had been reviewed and approved by their department. Loudoun County has advised this office that they have performed rough-in inspections of the new stairway.

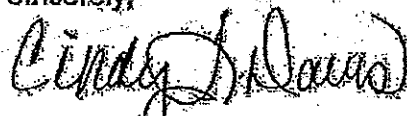
Your e-mail also states that NTA certified that the home has a 200-amp electrical service, although in actuality the home has two 200 amp electrical services. The building plans that Integrity submitted to NTA for approval show one 200 amp panel along with calculations for one 200 amp panel. It appears that the second 200 amp panel was shipped loose with the home for the wiring of site installed equipment and outlets. The Loudoun County building department is the authority having jurisdiction for the site installation and wiring of this panel.

As this office is unable to proceed further with this case this file will be administratively closed.

Pursuant to section 13 VAC 5-91-70 of the Virginia Industrialized Building Safety Regulations any person aggrieved by the Department of Housing and Community Development's (DHCD) application of this chapter shall be heard by the State Review Board established by §36-108 of the Code of Virginia. Such appeal shall be submitted within 21 calendar days of receipt of DHCD's decision. A copy of the decision of DHCD to be appealed shall be submitted with the application for appeal. Failure to submit an application for appeal within the time limit established by this section shall constitute acceptance of DHCD's decision. For your convenience, I have enclosed an application.

Please contact me at 804-371-7150 or by email at cindy.davis@dhcd.virginia.gov if you have any questions regarding this matter.

Sincerely,



Cindy L. Davis
State Building Codes Director

Attachment

C: Christopher Thompson, Loudoun Co.,
Emory Rodgers
Eric Leatherby

Rudnitsky & Hackman, L.L.P.

Attorneys at Law

Courtland Office
1372 N. Susquehanna Trail, Suite 130
Selinsgrove, Pennsylvania 17870

Telephone (570) 743-2333

Fax (570) 743-2347

www.rudnitskyhackman.com



Brie Leatherby, Sr. Construction Inspector II
Commonwealth of Virginia
Department of Housing & Community Development
600 East Main Street, Suite 300
Richmond, VA. 23219

Re: Malari Madison
Integrity Building Systems, Inc.
Pre-manufactured Home
40153 Janney Street
Waterford, VA 20197

Dear Mr. Leatherby:

Please allow this correspondence to serve as a response to your letter dated May 8, 2012 and to memorialize our conversation on May 29, 2012 regarding the above-referenced matter.

In response to our evaluation of this matter, my client, Milton Home Systems, Inc., has made a monetary settlement offer to Mrs. Madison. I am awaiting a response from Mrs. Madison regarding said offer. Please be advised that any report or information provided to me by my expert, Mr. Tompos, is confidential and privileged work product and will not be provided to any parties to this matter.

Please feel free to contact me with any questions or comments.

Very truly yours,

RUDNITSKY & HACKMAN, L.L.P.

KENNETH G. POTTER

Email to potter@rudnitskyhackman.com

KGP:peb

cc: Integrity Madison Leatherby, 5/30/12

THIS CORRESPONDENCE IS FOR PURPOSES OF SETTLEMENT NEGOTIATIONS ONLY AND CANNOT BE USED FOR LITIGATION IN ANY WAY OR MANNER.



Robert F. McDonnell
Governor

James S. Cheng
Secretary of
Commerce and Trade

COMMONWEALTH of VIRGINIA

William C. Shelton
Director

DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT

September 14, 2012

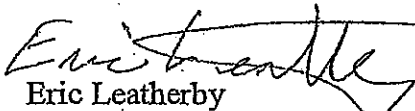
Ms. Milari Madison
40153 Janney Street
P.O. Box 302
Waterford, VA 20197

Dear Ms. Madison:

Per your request I have attached the February 28, 2012 e-mail that was sent to you by Mr. Chris Thompson and was carbon copied to my attention. I certify that it is a true and accurate copy of the e-mail I received and have in my possession.

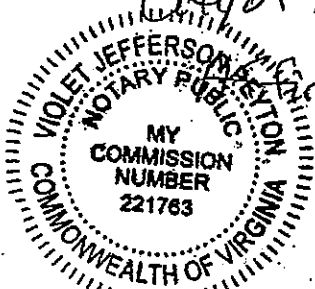
Please feel free to contact me if you have any additional questions regarding this matter.

Sincerely,


Eric Leatherby
Sr. Construction Inspector II
State Building Codes Office

STATE OF VIRGINIA:

City of Richmond:



Witnessed before me this 14th day of September, 2012.

Violet Jefferson Repton
My Commission Expires: 7/14/14

Partners for Better Communities



www.dhcd.virginia.gov

140

Thank you.

Milari Madison

----- Forwarded Message -----

From: "Thompson, Chris" <Chris.Thompson@loudoun.gov>
To: Hunter Madison <huntermadison2002@yahoo.com>; "potter@rudnitskyhackman.com" <potter@rudnitskyhackman.com>
Cc: "Leatherby, Eric (DHCD)" <Eric.Leatherby@dhcd.virginia.gov>; "Brock, Larry (DHCD)" <Larry.Brock@dhcd.virginia.gov>; John E Berry <woodwise2001@earthlink.net>
Sent: Tuesday, February 28, 2012 9:12 AM
Subject: RE: Madison/Milton Settlement, violation report

Milari,

There were several items in your home that were not code compliant.

They were the stairs leading to the wing off the kitchen which did not meet the requirements of section R311.5.3.3 Profile. Specifically the treads were temporary and did not meet the profile requirements and had open risers in excess of 4 inches. The stairway to the second floor did not meet the requirements of section R311.5.2 Headroom. The stairway to the third floor did not meet the requirement of section R311.5.2 Headroom and R311.5.4 Landings for Stairways.

There are temporary guards that do not meet the requirements of section R312.1 Guards.

County of Loudoun

Building and Development

Code Enforcement Division

Chris Thompson

From: Hunter Madison [mailto:huntermadison2002@yahoo.com]
Sent: Tuesday, February 28, 2012 5:26 AM
To: Thompson, Chris; potter@rudnitskyhackman.com
Cc: "Leatherby, Eric (DHCD)"; "Brock, Larry (DHCD)"; John E Berry
Subject: Fw: Madison/Milton Settlement, violation report

Chris,

Per the DHCD's e-mail below, can you kindly confirm for the attorney for Milton/Integrity that there are open code violations as he requested? These code violations were noted in the Woodwise proposal for correction. It should be noted that since Integrity staff demolished the wall, on site, leading up to the third floor, the electricity is also left hanging and incomplete.

Thank you.

Milari Madison

----- Forwarded Message -----

From: "Leatherby, Eric (DHCD)" <Eric.Leatherby@dhcd.virginia.gov>
To: Hunter Madison <huntermadison2002@yahoo.com>
Cc: "Brock, Larry (DHCD)" <Larry.Brock@dhcd.virginia.gov>
Sent: Monday, February 27, 2012 9:48 AM
Subject: RE: Madison/Milton Settlement, violation report

Ms. Madison,

No one from this office has been to your home to perform inspections. The only information that I have received regarding defects to your home have come from you and Loudon County building inspector Chris Thompson. I suggest that you contact the Loudon Co. building department for reports of inspections that they have conducted.

EMAILS SUBMITTED BEFORE
SEPT. 25, 2012 FACT-FINDING
CONFERENCE

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From: Hunter Madison <huntermadison2002@yahoo.com>
To: "potter@rudnitskyhackman.com" <potter@rudnitskyhackman.com>
Cc: David Tompos <tompos@ntainc.com>
Sent: Friday, February 17, 2012 9:56 AM
Subject: Madison/Milton Settlement

Dear Mr. Potter,

For the purposes of settlement discussions only, I thought it might be helpful to provide you with a cursory overview to share with your client. As you are aware, we have a phone call set for Monday at 11:00.

At this time, I cannot obtain an occupancy permit. The estimate to correct the items related to the three stair/code violations has been provided to Dick Rowe by a licensed VA contractor. It is my understanding that Mr. Rowe and Mr. Tompos spoke with the contractor/county and that an "approval" to the plan has been tentatively agreed to by the county. By me agreeing to the approved stair change, is a significant concession in that it diminishes the functionality and appearance of the second floor going to the third floor greatly. The altered plan is not what I agreed to and paid for, however, is acceptable to me for the purposes of settlement only. The third floor was planned as integral space for my house, family, and the value of the house. The presentation as to how to access the space is very important.

Due to water damage and other problems, the house has visible mold. The ceilings in the second floor are heavily cracked and buckling. The sheet rock needs to be replaced and the upstairs needs to be repainted. The floors throughout the house are uneven. Nearly all walls are neither square or straight. The lopsided nature poses difficulties in finishing the house in that the mistakes cannot be simply covered up and fixed cosmetically. Buckled floors lead to buckled molding. I have already spent over \$100,000 fixing problems. The house cost me approximately \$254,000 as purchased from Integrity. I was told that I would be responsible to repair the marriage walls, which was "no big deal" and attach the electric boxes which should take an electrician "a few hours". The third party inspection agency, NTA, stated that the electric was a 200 amp service. It is a 400 amp services and cost me \$12,000 to get it almost working. I still do not have electrical sign off from the county.

The county's approval of this project was a result of a legal settlement and the house was required to be built in accordance with the specifications as stipulated to with the county as the house is in an historic district. Some of the windows were framed out and set to the wrong size by Integrity workers. The overhangs are incorrect as built out by Integrity staff. The overhang build outs were/are lopsided and proved necessary as there were large gaps and misalignment between the boxes.

I am sure that you realize that no one wants a defective house that is shoddy. The metal roof is lumpy as the roof trusses have gaps in them and are not tight or level. All of these problems can be fixed but at what cost? Accepting the many problems "as is" is worth what? I know, for example, the house has not been bolted in the basement and the dormers were not bolted to the roof. I am very concerned that other problems will present themselves too as a result of manufacturing, building, and performance defects.

Thank you for any efforts to settle this regrettable and unfortunate matter. I look forward to speaking with you on Monday at 11:00.

Milari Madison

From: Hunter Madison [<mailto:huntermadison2002@yahoo.com>]

Sent: Friday, February 24, 2012 6:56 AM

To: Ken Potter

Subject: Fw: Madison/Milton Settlement

Mr. Potter,

I now you are trying to connect with the client. Can you please let me know when you expect to have a reply/next step?

Thank you.

Milari Madison

From: Ken Potter <potter@rudnitskyhackman.com>
To: Hunter Madison <huntermadison2002@yahoo.com>
Sent: Friday, February 24, 2012 10:28 AM
Subject: RE: Madison/Milton Settlement

Mrs. Madison:

Sorry I didn't return your call yesterday as I had back to back appointments. I have spoken to my client and he is gathering information that I have requested. I am also contacting the insurance carrier. Additionally, I am considering a trip to your home to see the issues first hand. I will keep in touch. Do you have a report from the code officer outlining the code violations? If so, would you consider sending me a copy.

Thank you for your patience.

Ken Potter

From: Hunter Madison [<mailto:huntermadison2002@yahoo.com>]

Sent: Sunday, February 26, 2012 11:05 AM

To: Brock, Larry (DHCD); Leatherby, Eric (DHCD)

Cc: Inc.; Chris Thompson; potter@rudnitskyhackman.com

Subject: Fw: Madison/Milton Settlement, violation report

Hello.

The attorney for Milton has asked if there is a report regarding the code violations per his e-mail below. Do you have an itemized issue list that you can send Mr. Potter? As we have already addressed to date 1. the stairs to the attic do not meet code 2. the stairs from the kitchen to the west wing do not meet code 3. the stair clearance height from floor one to floor two do not meet code. These three items were included in Mr. John Berry's proposal to fix the code violations.

Can you kindly send him whatever correction notice that you may have sent to Milton/Integrity/Icon?

Thank you.

Milari Madison
540-882-3160

From: "Leatherby, Eric (DHCD)" <Eric.Leachery@dhcd.virginia.gov>
To: Hunter Madison <huntermadison2002@yahoo.com>
Cc: "Brock, Larry (DHCD)" <Larry.Brock@dhcd.virginia.gov>
Sent: Monday, February 27, 2012 9:48 AM
Subject: RE: Madison/Milton Settlement, violation report

Ms. Madison,

No one from this office has been to your home to perform inspections. The only information that I have received regarding defects to your home have come from you and Loudon County building inspector Chris Thompson. I suggest that you contact the Loudon Co. building department for reports of inspections that they have conducted.

Eric Leatherby

From: Hunter Madison [<mailto:huntermadison2002@yahoo.com>]
Sent: Tuesday, February 28, 2012 5:26 AM
To: Thompson, Chris; potter@rudnitskyhackman.com
Cc: "Leatherby, Eric (DHCD)"; "Brock, Larry (DHCD)"; John E Berry
Subject: Fw: Madison/Milton Settlement, violation report

Chris,

Per the DHCD's e-mail below, can you kindly confirm for the attorney for Milton/Integrity that there are open code violations as he requested? These code violations were noted in the Woodwise proposal for correction. It should be noted that since Integrity staff demolished the wall, on site, leading up to the third floor, the electricity is also left hanging and incomplete.

Thank you.

Milari Madison

From: "Thompson, Chris" <Chris.Thompson@loudoun.gov>
To: Hunter Madison <huntermadison2002@yahoo.com>; "potter@rudnitskyhackman.com" <potter@rudnitskyhackman.com>
Cc: ""Leatherby, Eric (DHCD)"" <Eric.L Leatherby@dhcd.virginia.gov>; ""Brock, Larry (DHCD)"" <Larry.Brock@dhcd.virginia.gov>; John E Berry <woodwise2001@earthlink.net>
Sent: Tuesday, February 28, 2012 9:12 AM
Subject: RE: Madison/Milton Settlement, violation report

Milari,

There were several items in your home that were not code compliant.

They were the stairs leading to the wing off the kitchen which did not meet the requirements of section R311.5.3.3 Profile. Specifically the treads were temporary and did not meet the profile requirements and had open risers in excess of 4 inches.

The stairway to the second floor did not meet the requirements of section R311.5.2 Headroom

The stairway to the third floor did not meet the requirement of section R311.5.2 Headroom and R311.5.4 Landings for Stairways.

There are temporary guards that do not meet the requirements of section R312.1 Guards.

County of Loudoun

Building and Development

Code Enforcement Division

Chris Thompson

From: Hunter Madison [<mailto:huntermadison2002@yahoo.com>]

Sent: Thursday, August 16, 2012 11:23 AM

To: Shelton, Bill (DHCD)

Cc: Rodgers, Emory (DHCD); Leatherby, Eric (DHCD); Davis, Cindy (DHCD); Chris Thompson

Subject: Fw: NTA Complaint to DHCD

Dear Mr. Shelton,

I am requesting a copy of any document sent to NTA directing the correction of the building code violations at my property by NTA, any proof that the complaint has been "fully resolved", any other directive from DHCD, or any termination of authority letter etc.

Under the purview of DHCD, NTA certified that my house meets applicable code and that it has a 200 amp electrical service. The house does not meet code and has a 400 amp. service.

Required under 13 VAC 5-91-200, section 6 (procedures to deal with defects), based on the materials received via FOIA, NTA states that "All complaints by... parties are fully resolved" (5.1 page 12 of 14). Further, @ 5.3 page 12 of 14, NTA states "Corrective action for non-conforming work is to be performed". On Friday, September 16, 2011 2:12 PM, I contacted NTA. Instead of following procedures they represent to the DHCD will be followed, David Tompos responded "You will have to contact the manufacturer."

13 VAC 5-91-90. Penalty for violation. In accordance with § 36-83 of the Code of Virginia, any person, firm or corporation violating any provisions of this chapter shall be considered guilty of a Class 1 misdemeanor and, upon conviction, shall be fined not more than \$1,000 to prosecute.

NTA presumably is a compliance assurance agency based on the documentation supplied to DHCD but they have failed to "resolve" my complaint and in my opinion have mislead DHCD.

I would appreciate your assistance in protecting the public and resolving this matter.

Thank you. E-mail is fine.

Milari Madison

From: "Davis, Cindy (DHCD)" <Cindy.Davis@dhcd.virginia.gov>
To: Hunter Madison <huntermadison2002@yahoo.com>
Cc: "Rodgers, Emory (DHCD)" <Emory.Rodgers@dhcd.virginia.gov>; "Leatherby, Eric (DHCD)" <Eric.Leatherby@dhcd.virginia.gov>; Chris Thompson <chris.thompson@loudoun.gov>; "McAlexander, Leslie (DHCD)" <Leslie.McAlexander@dhcd.virginia.gov>; "Shelton, Bill (DHCD)" <Bill.Shelton@dhcd.virginia.gov>; "Calhoun, Steve (DHCD)" <Steve.Calhoun@dhcd.virginia.gov>
Sent: Monday, August 20, 2012 3:02 PM
Subject: RE: NTA Complaint to DHCD

Dear Ms. Madison:

Regarding your inquiry and FOIA below, please see attached response and related documents.

Hard copies will follow via US Mail.

Sincerely,

Cindy L. Davis, C.B.O., State Building Codes Director
VA Dept. of Housing and Community Development
600 E. Main Street - Suite 1100
Richmond, VA 23219
PH: 804-371-7161
FAX: 804-371-7092
Cindy.Davis@dhcd.virginia.gov

From: Hunter Madison <huntermadison2002@yahoo.com>
To: "Davis, Cindy (DHCD)" <Cindy.Davis@dhcd.virginia.gov>
Cc: "Rodgers, Emory (DHCD)" <Emory.Rodgers@dhcd.virginia.gov>; "Leatherby, Eric (DHCD)" <Eric.L Leatherby@dhcd.virginia.gov>; Chris Thompson <chris.thompson@loudoun.gov>; "McAlexander, Leslie (DHCD)" <Leslie.McAlexander@dhcd.virginia.gov>; "Shelton, Bill (DHCD)" <Bill.Shelton@dhcd.virginia.gov>; "Calhoun, Steve (DHCD)" <Steve.Calhoun@dhcd.virginia.gov>
Sent: Tuesday, August 21, 2012 7:22 AM
Subject: NTA Complaint to DHCD and Person under the law

This first inquiry is specific to NTA.

§ 36-79. Effect of label of compliance assurance agency.

Any industrialized building shall be deemed to comply with the standards of the Board when bearing the label of a compliance assurance agency.

Required under 13 VAC 5-91-200, section 6 (procedures to deal with defects), based on the materials received via FOIA, NTA states that "All complaints by parties are fully resolved" (5 page 12 of 14). Further, @ 5 3 page 12 of 14, NTA states "Corrective action for non-conforming work is to be performed." On Friday, September 16, 2011 2:12 PM, I contacted NTA. Instead of following procedures they represent to the DHCD will be followed, David Tompos responded "You will have to contact the manufacturer."

With respect to the conduct by MILTON/IBS and related persons--- and your letter received August 21, 2012 via e-mail ---

IBS changed its name to MILTON. They are the SAME company, operated by the same PERSON. 13 VAC 5-91-90. Penalty for violation. In accordance with § 36-83 of the Code of Virginia, any person, firm or corporation violating any provisions of this chapter shall be considered guilty of a Class 1 misdemeanor and, upon conviction, shall be fined not more than \$1,000 to prosecute.

I would like to file the complaint against Richard Rowe and Glenn Salsman, the "person(s)" as a simple name change, in order to evade VA authorities, fails to protect the public. **Please let me know if you need "new" documentation** or if the e-mail can satisfy your requirements.

Thank you.

Milari Madison

From: Hunter Madison <huntermadison2002@yahoo.com>
To: "Davis, Cindy (DHCD)" <Cindy.Davis@dhcd.virginia.gov>
Cc: "Rodgers, Emory (DHCD)" <Emory.Rodgers@dhcd.virginia.gov>; "Leatherby, Eric (DHCD)" <Eric.L Leatherby@dhcd.virginia.gov>; Chris Thompson <chris.thompson@loudoun.gov>; "McAlexander, Leslie (DHCD)" <Leslie.McAlexander@dhcd.virginia.gov>; "Shelton, Bill (DHCD)" <Bill.Shelton@dhcd.virginia.gov>; "Calhoun, Steve (DHCD)" <Steve.Calhoun@dhcd.virginia.gov>
Sent: Tuesday, August 21, 2012 8:06 AM
Subject: VA Sup. Court, Effect of Name Change

It is a well established principle in law that "The change of a corporation's name is not a change of the identity of a corporation and has no effect on the corporation's property, rights, or liabilities"

See attached case, page 16 - 17.

From: Hunter Madison [<mailto:huntermadison2002@yahoo.com>]

Sent: Wednesday, August 22, 2012 6:17 AM

To: Shelton, Bill (DHCD)

Cc: Rodgers, Emory (DHCD); Leatherby, Eric (DHCD); Chris Thompson; McAlexander, Leslie (DHCD); Calhoun, Steve (DHCD); McAlexander, Leslie (DHCD); Davis, Cindy (DHCD)

Subject: FOIA Request

Dear Mr. Shelton,

I am concerned that NTA and IBS/Milton (and associated persons), having failed to comply with VA law and requirements, are getting a "free-pass". DHCD is supposed to protect the public through regulation and selected NTA to act as a compliance assurance agency (a building code official) as provided to the public to utilize.

Under FOIA, I would like a copy of e-mails/correspondence sent to or received between you, Mr. Rodgers, Mr Brock, Ms. Davis, Mr. Calhoun, L. McAlexander, and Mr. Leatherby regarding NTA/IBS/Milton **or any** of their directors/staff/owners in the passed 12 months. This may include any such correspondence that may be considered more of a personal nature, by some, that may have been generated from "home" computers provided that "business" was mentioned or referred to.

Further, while Ms. Davis purports to rely upon a policy that a change in company name seems to absolve Milton (and NTA as they were included in my complaint) from any liability or responsibility (contrary to the law), I would like a copy of the guidelines/procedure/opinion that such a position relies upon.

Please advise me as to what the fee may be, if any, for prior approval, and know that e-mail is fine.

Alternatively, please assist with the complaint either as named persons, or under NTA, IBS, or Milton.

Thank you for your assistance.

Milari Madison

From: "Davis, Cindy (DHCD)" <Cindy.Davis@dhcd.virginia.gov>
To: Hunter Madison <huntermadison2002@yahoo.com>
Cc: "Rodgers, Emory (DHCD)" <Emory.Rodgers@dhcd.virginia.gov>; "Leatherby, Eric (DHCD)" <Eric.Leatherby@dhcd.virginia.gov>; "McAlexander, Leslie (DHCD)" <Leslie.McAlexander@dhcd.virginia.gov>; "Calhoun, Steve (DHCD)" <Steve.Calhoun@dhcd.virginia.gov>; "Shelton, Bill (DHCD)" <Bill.Shelton@dhcd.virginia.gov>
Sent: Friday, August 24, 2012 10:55 AM
Subject: RE: FOIA Request

Regarding the request below, please clarify what you are asking for. You were previously provided with copies of all correspondence, through the date of your last FOIA request (which I believe was April 3). Since that time you have been copied on correspondence from our office. Whether or not there are emails to or from NTA/Milton/IBS that you were not already copied on (again clarification is needed. Are you asking for copies of emails on which you were already copied?) is unknown and would take some time to research. Please be advised that you will be invoiced for the cost for the records research. We will notify you if the cost is likely to be in excess of \$200.

Under FOIA, I would like a copy of e-mails/correspondence sent to or received between you, Mr. Rodgers, Mr Brock, Ms. Davis, Mr. Calhoun, L. McAlexander, and Mr. Leatherby regarding NTA/IBS/Milton or any of their directors/staff/owners in the passed 12 months. This may include any such correspondence that may be considered more of a personal nature, by some, that may have been generated from "home" computers provided that "business" was mentioned or referred to.

Cindy L. Davis, C.B.O., State Building Codes Director
VA Dept. of Housing and Community Development
600 E. Main Street - Suite 1100
Richmond, VA 23219
PH: 804-371-7161
FAX: 804-371-7092
Cindy.Davis@dhcd.virginia.gov

From: Hunter Madison [mailto:huntermadison2002@yahoo.com]
Sent: Saturday, August 25, 2012 7:21 AM
To: Davis, Cindy (DHCD); Shelton, Bill (DHCD)
Cc: Rodgers, Emory (DHCD); Leatherby, Eric (DHCD); McAlexander, Leslie (DHCD); Calhoun, Steve (DHCD); Shelton, Bill (DHCD); Chris Thompson
Subject: Re: FOIA Request, DHCD's Failure to Protect the public

I was not copied on e-mails to or from NTA/Milton/IBS by DHCD or internal DHCD e-mails in which the matter may have been mentioned or those correspondence that may shine light upon relationships between the parties. If it was the intention of DHCD to copy me, then, clearly I should receive such copies at no charge.

For clarification, the April 3 FOIA did not contain any internal DHCD e-mails, such as, how any why DHCD would utilize a policy/regulation that a company name change would somehow, contrary to VA law, absolve "the entity" from liability. As you know, agencies must rely upon published guidelines and regulations. Please provide the referenced published guideline/regulation that was utilized for your determination and any such copies intended for me but not received by me at no charge.

The April 3 FOIA did, however, contain NTA's assurances to DHCD as to how complaints and problems would be handled which was **not** complied with. Required under 13 VAC 5-91-200, section 6 (procedures to deal with defects), based on the materials received via FOIA, NTA states that "All complaints by parties are fully resolved." (5-1 page 12 of 14). Further @ 5-3 page 12 of 14, NTA states "Corrective action for non-conforming work is to be performed". On Friday, September 16, 2011 2:12 PM, I contacted NTA. Instead of following procedures they represent to the DHCD *will be followed*, David Tompos responded "You will have to contact the manufacturer."

The "approved" solution for their spiral stairs would not "work" because the Milton engineer or NTA failed to "know" that the center pole would not actually rest on the floor per their drawing. Based on the layout they provided, the center pole ended up in mid-air above the stair opening from the first floor to the second floor. Why? I have no idea. The failure of the "plan" was accepted by Milton staff as they came into the house, at night, without my approval, demolished the wall, left hot electrical wires dangling, open voids along the stair ways, and were about to cut into the third floor. I asked them to look at the "plan" (as it was not approved by me) and the staff agreed it would not "work", placed a call to their boss, left, and abandoned the project. They caused additional hazardous conditions.

NTA certified the load calculations and data plate to the house as affixed to the master bedroom closet wall that the house came with a 200 amp electrical system. NTA acts as a CAA under the purview of DHCD. So, **under what regulation are you relying upon to shift the compliance back to Loudoun County?** Milton staff tried to "fix" the electric on site but could not and stated they did not know why they could not get it to work. § 36-79. Effect of label of compliance assurance agency. Any industrialized building shall be deemed to comply with the standards of the Board when bearing the label of a compliance assurance agency.

In addition, in no way am I obligated to accept a settlement offer from Milton when the damages far exceed \$30,000. Quite frankly, it is conscious shocking that DHCD would think otherwise. Seriously.

13 VAC 5-91-90. Penalty for violation. In accordance with § 36-83 of the Code of Virginia, any person, firm or corporation violating any provisions of this chapter shall be considered guilty of a Class 1 misdemeanor and, upon conviction, shall be fined not more than \$1,000 to prosecute.

I would like to file the complaint against NTA? Mr. Tompos, Richard Rowe and Glenn Salsman, the person(s) as a simple name change, in order to evade VA authorities, fails to protect the public. Please let me know if you need "new" documentation or if the e-mail can satisfy your requirements.

Milari Madison

From: "Davis, Cindy (DHCD)" <Cindy.Davis@dhcd.virginia.gov>
To: Hunter Madison <huntermadison2002@yahoo.com>
Cc: "Rodgers, Emory (DHCD)" <Emory.Rodgers@dhcd.virginia.gov>; "Leatherby, Eric (DHCD)" <Eric.Leatherby@dhcd.virginia.gov>; "McAlexander, Leslie (DHCD)" <Leslie.McAlexander@dhcd.virginia.gov>; "Calhoun, Steve (DHCD)" <Steve.Calhoun@dhcd.virginia.gov>; Chris Thompson <chris.thompson@loudoun.gov>; "Shelton, Bill (DHCD)" <Bill.Shelton@dhcd.virginia.gov>
Sent: Monday, August 27, 2012 1:47 PM
Subject: RE: FOIA Request, DHCD's Failure to Protect the public

Dear Ms. Madison:

In response to your FOIA requests, it is not possible for me to search and locate all internal emails within the five-workday time period, as I am out of the office the rest of the week. Please be advised I will search for the documents after my return to work the following week. The decision as to whether or not there will be a cost involved will fall to our FOIA office.

My decision as outlined in your letter was based on the Industrialized Building Safety Regulations. Although I believe you already have them, I've provided a link below.

<http://www.dhcd.virginia.gov/StateBuildingCodesandRegulations/PDFs/2009/Cod e%20-%20IBSR.pdf>

I would also like to remind you that should you wish to appeal my decision, the application to do so has been provided to you and the deadline to file the appeal is 21 days after the date of the letter.

Sincerely,

Cindy L. Davis, C.B.O., State Building Codes Director
VA Dept. of Housing and Community Development
600 E. Main Street - Suite 1100
Richmond, VA 23219
PH: 804-371-7161
FAX: 804-371-7092
Cindy.Davis@dhcd.virginia.gov

From: Hunter Madison [mailto:huntermadison2002@yahoo.com]

Sent: Wednesday, August 29, 2012 7:00 AM

To: Davis, Cindy (DHCD); Shelton, Bill (DHCD)

Cc: Rodgers, Emory (DHCD); Leatherby, Eric (DHCD); McAlexander, Leslie (DHCD); Calhoun, Steve (DHCD); Chris Thompson; Shelton, Bill (DHCD)

Subject: DHCD's Failure to Protect the public - NEW COMPLAINT

Dear Mr. Shelton,

It was my understanding that DHCD is supposed to protect the public.

I have requested the guideline/procedure/regulation that DHCD has "relied" upon (as they must be published under the law) to determine that the name change of an "entity" relieves the company/persons of their duties to comply with the code (which is contrary to well established law): ~~Please provide the referenced published guideline/regulation that was utilized for my determination.~~ I wonder if this policy is shared with other companies doing business in Virginia? It is a conscious shocking and generous position, taken by DHCD and contrary to the law, that any company can simply change their name and have no responsibility to the public's safety and welfare.

I am formally stating (or inquiring AGAIN) that my complaint documents should or may be utilized against "persons" Richard Rowe, Glenn Salzman (former and current owners of IBS now Milton), NTA Inc. and Mr. Tompos. THESE ARE NEW COMPLAINTS. I have sent the complaint cover sheet information to DHCD.

It is fair and reasonable that if DHCD purports they "copied" me on correspondence regarding the complaint against IBS/Milton (NTA, Inc), then I should be provided with such copies at no charge and I will not pay for them via FOIA.

"The change of a corporation's name is not a change of the identity of a corporation and has no effect on the corporation's property, rights, or liabilities." *Alley v. Miramon*, 614 F.2d 1372, 1384 (5th Cir, 1980); see also *Wright-Caesar Tobacco Co. v. A. Hoen & Co.*, 54 S.E. 309,311 (Va. 1906) (the Virginia Supreme Court did not permit a company to avoid liability by changing its name where the successor company was "but a continuation" of the first company);

Milari Madison

From: "Rodgers, Emory (DHCD)" <Emory.Rodgers@dhcd.virginia.gov>
To: Hunter Madison <huntermadison2002@yahoo.com>; "Davis, Cindy (DHCD)" <Cindy.Davis@dhcd.virginia.gov>; "Shelton, Bill (DHCD)" <Bill.Shelton@dhcd.virginia.gov>; "Rodgers, Steve" <Steve.Rodgers@loudoun.gov>
Cc: "Leatherby, Eric (DHCD)" <Eric.Leatherby@dhcd.virginia.gov>; "McAlexander, Leslie (DHCD)" <Leslie.McAlexander@dhcd.virginia.gov>; "Calhoun, Steve (DHCD)" <Steve.Calhoun@dhcd.virginia.gov>; Chris Thompson <chris.thompson@loudoun.gov>
Sent: Wednesday, August 29, 2012 7:25 AM
Subject: RE: DHCD's Failure to Protect the public - NEW COMPLAINT

Mrs. Madison, let me respond on behalf of Mr. Shelton and the Building and Fire Regulation Division here at DHCD. Ms. Davis has responded to you on these matters. The due process is for you to appeal her decisions to the State Technical Review Board. Her decisions about the label on the dwelling unit received by you and your builder from the modular manufacturer and other building construction compliance issues such as the stairs and the electrical system are covered by the Industrialized Building Safety Regulations that you yourself have cited numerous times in emails and correspondence to this office. You have been given a copies of the IBSR. There are no published guidelines as the IBSR is a regulation and enforced and administered by Ms. Davis and the State Building Codes Office.

As for the former company that produced your modular dwelling units, they went out of business. We have no responsibility under the IBSR that the new company you cite legally is the same corporation as the named company you cite. Our duty is to ensure the modular building complies with the construction code requirements used by the manufacturer per the IBSR and then installed on your property. We do this in collaboration with the local building department that issues permits, inspect and verify compliance and then issues a certificate of occupancy permit. Any non-complying items found have to be brought into compliance. We don't issue violation notices when a discovered defect or non-complying building component is repaired or replaced and brought into compliance. We don't enforce contractual matters that are civil matters between you and the builder, contractors, manufacturer or broker. The compliance assurance agency is approved by us to inspect in the plant and in-the-field where deemed applicable by Ms. Davis and her staff. We don't issue violation notices to our 3rd party compliance assurance agencies under the IBSR.

I know that you are keenly aware of our state appeals process, so your recourse to challenge the decisions is filing your appeals to the State Technical Review Board. I don't believe further communications is necessary as we have advised you of our decisions in the construction and installation of your modular dwelling units.

Emory Rodgers
Deputy Director, Building and Fire Regulations
Department of Housing and Community Development

From: Jeff Bower <JeffB@integritybuild.com>

To: Hunter Madison <huntermadison2002@yahoo.com>; Martin Sickle <MartyS@integritybuild.com>;
Richard Rowe <DickR@integritybuild.com>; Glenn Salsman <GlennS@integritybuild.com>

Sent: Tuesday, August 30, 2011 6:50 AM

Subject: RE: RECAP LIST - Fireplace and Flooding, Contract Performance

Attached are the engineer's calculations and mark-ups for the chimney construction, the column in the living room and the opening for the stairway.

I was not involved with the west wall, so I will need to check with Dick on what was done there.

Thanks,

Jeff

From: Hunter Madison [mailto:huntermadison2002@yahoo.com]
Sent: Thursday, August 30, 2012 7:29 AM
To: Rodgers, Emory (DHCD); Shelton, Bill (DHCD)
Cc: Leatherby, Eric (DHCD); McAlexander, Leslie (DHCD); Calhoun, Steve (DHCD); Chris Thompson; Davis, Cindy (DHCD); Shelton, Bill (DHCD); "Rodgers, Steve"
Subject: Re: DHCD's Failure to Protect the public - REQUEST FOR CRIMINAL CHARGES

Dear Mr. Rodgers,

Thank you for your reply.

1. IBS did NOT go out of business as indicated by you, but merely changed their name to "Milton". They changed the name on 11-16-2011 to Milton Home Systems, Inc. as noted to DHCD. As previously noted, VA law is not circumvented due to a name change or even "going out of business".

2. NTA Inc. is a "Compliance assurance agency" as defined under 13 VAC 5-91-10, meaning a "professional engineer registered in Virginia, or an organization, determined by DHCD to be specially qualified by reason of facilities, personnel, experience, and demonstrated reliability, to investigate, test and evaluate industrialized buildings; to list such buildings complying with standards at least equal to this chapter; to provide adequate follow-up services at the point of manufacture to ensure that production units are in full compliance, and to provide a label as evidence of compliance on each manufactured section or module."

§ 36-79. Effect of label of compliance assurance agency. Any industrialized building shall be deemed to comply with the standards of the Board when bearing the label of a compliance assurance agency. As we know, my units contain "Mac Daddy" building code violations but were affixed with the labels anyway.

NTA Inc., failed to comply with the requirements as represented by NTA to DHCD. Since they are affixing labels that erroneously state that the structure meets code, they are in violation of the law and should not be permitted to act as an building code official. NTA states that "All complaints by parties are fully resolved" (5-1 page 12 of 14). Further, @ 5-3 page 12 of 14, NTA states "Corrective action for non-conforming work is to be performed".

3. 13 VAC 5-91-90. Penalty for violation. In accordance with § 36-83 of the Code of Virginia, any persons, firm or corporation violating any provisions of this chapter shall be considered guilty of a Class 1 misdemeanor and, upon conviction, shall be fined not more than \$1,000 to prosecute. (An arrest warrant has been issued by DPOR against the person that set the house even though he resides in Texas).

As always, I appreciate your assistance.

Milari Madison

From: Hunter Madison [mailto:huntermadison2002@yahoo.com]
Sent: Thursday, August 30, 2012 8:58 AM
To: Rodgers, Emory (DHCD); Shelton, Bill (DHCD); "Rodgers, Steve"
Cc: Leatherby, Eric (DHCD); McAlexander, Leslie (DHCD); Calhoun, Steve (DHCD); Chris Thompson; Davis, Cindy (DHCD); "Rodgers, Steve"
Subject: NEW Complaints - Loudoun County's Request to Appeal the Determination

Dear Mr. Emory Rodgers and Mr. Shelton,(DHCD)" <Emory.Rodgers@dhcd.virginia.gov>
To: Hunter Madison <huntermadison2002@yahoo.com>; "Shelton, Bill (DHCD)"
<Bill.Shelton@dhcd.virginia.gov>
Cc: "Leatherby, Eric (DHCD)" <Eric.Leacheryby@dhcd.virginia.gov>; "McAlexander, Leslie (DHCD)"
<Leslie.McAlexander@dhcd.virginia.gov>; "Calhoun, Steve (DHCD)" <Steve.Calhoun@dhcd.virginia.gov>; Chris
Thompson <chris.thompson@loudoun.gov>; "Davis, Cindy (DHCD)" <Cindy.Davis@dhcd.virginia.gov>;
""Rodgers, Steve"" <Steve.Rodgers@loudoun.gov>
Sent: Thursday, August 30, 2012 7:35 AM
Subject: RE: DHCD's Failure to Protect the public - REQUEST FOR CRIMINAL CHARGES

Thanks, your points would need to be presented via the appeals process.

From: "Rodgers, Emory (DHCD)" <Emory.Rodgers@dhcd.virginia.gov>
To: Hunter Madison <huntermadison2002@yahoo.com>; "Shelton, Bill (DHCD)" <Bill.Shelton@dhcd.virginia.gov>; ""Rodgers, Steve"" <Steve.Rodgers@loudoun.gov>
Cc: "Leatherby, Eric (DHCD)" <Eric.Leatherby@dhcd.virginia.gov>; "McAlexander, Leslie (DHCD)" <Leslie.McAlexander@dhcd.virginia.gov>; "Calhoun, Steve (DHCD)" <Steve.Calhoun@dhcd.virginia.gov>; Chris Thompson <chris.thompson@loudoun.gov>; "Davis, Cindy (DHCD)" <Cindy.Davis@dhcd.virginia.gov>
Sent: Thursday, August 30, 2012 9:24 AM
Subject: RE: NEW Complaints - Loudoun County's Request to Appeal the Determination

The IBSR has nothing to do with whatever you mean by the monetary sum of \$30,000. The IBSR is under Ms. Davis so again any differences you have with Ms. Davis's decisions have to be settled by the State Technical Appeals Board. The county has no responsible or authority to issue any notice of violation against NTA and for their inspections in the plant. The county doe verify installation is done correct, work covered by the USBC and issuance of the occupancy permit. The goal is compliance when non-compliance work is discovered. My response and communications sent by Ms. Davis in no way have state the county is the building official for IBSR matters. You have our determination. You have the due process provided to you for appeal.

From: Hunter Madison <huntermadison2002@yahoo.com>
To: "Eric.Leatherby@dhcd.virginia.gov" <Eric.Leatherby@dhcd.virginia.gov>
Sent: Sunday, September 2, 2012 7:36 PM
Subject: Fw: Madison/Milton Settlement, violation report (FOIA Request)

Pursuant to FOIA, please provide a copy of the record below (the e-mail that you received via Chris Thompson on February 28, 2012) and a certification/affidavit that you are the custodian of the record (the e-mail outlining the code violations, certify the record that it is a true and accurate copy, stamp as a "*certified* true copy" and that you received the e-mail enumerating code violations from Chris Thompson, as outlined below.

Please e-mail me a copy as a PDF and mail the original with the notarized affidavit to:

Milari Madison
40153 Janney Street
P.O. Box 302
Waterford VA 20197

Thank you.

From: Hunter Madison [mailto:huntermadison2002@yahoo.com]
Sent: Wednesday, September 05, 2012 2:07 PM
To: McMahan, Alan (DHCD); Shelton, Bill (DHCD)
Cc: Leatherby, Eric (DHCD); McAlexander, Leslie (DHCD); Calhoun, Steve (DHCD); Chris Thompson; Davis, Cindy (DHCD); Steve Rodgers; Chris Thompson; DelRBell@house.state.va.us; Mark Obenshain; Christopher Lore; J. Randall; bob@delegatebob.com Marshall; Tag Greason; contact@landmarklegal.org
Subject: Madison appeal to TRB, DHCD's failure to do their job

Dear Mr. McMahan,

Kindly include the instructional email below from Mr. Emory Rodgers for inclusion in the record and the photographs. As previously stated, it is very unclear as to what the "regulation" is that serves as the basis for the appeal to the Davis "letter" and the state can and should simply issue the appropriate NOV's under the law.

I trust the PDF is sufficient and that I do not need to mail a copy.

Thank you for your assistance.

Milari Madison



Robert F. McDonnell
Governor

James S. Cheng
Secretary of
Commerce and Trade

COMMONWEALTH of VIRGINIA

DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT

William C. Shelton
Director

August 20, 2012

Ms. Milari Madison
40153 Janney Street
Waterford, VA 20197

Dear Ms. Madison,

I am in receipt of your August 16, 2012 e-mail regarding your modular home complaint. You have requested that this office provide you with "any document sent to NTA directing the correction of the building code violations" at your property. Please be advised that this office has not sent any documents to NTA directing them to correct any building code violations.

As you are aware, based on past correspondence and conversations, the State Building Codes Office acts as the building official for registered industrialized buildings, commonly referred to as modular homes. As the building official this office is authorized to cite the manufacturer for building code violations that are introduced during production in the factory. NTA is not the manufacturer of your home and therefore this office cannot direct them to correct building code violations caused by another entity. Integrity Building Systems, Inc. manufactured your home and would be the proper party to cite for any factory violations. However as we previously reported to you, this office received notice from Integrity Building Systems on October 21, 2011 that effective November 17, 2011 they were ceasing all operations and their assets were being sold to another manufacturer. As Integrity Building Systems is no longer in business we are unable to cite the manufacturer for the potential violations listed in your complaint.

It is our understanding that individuals associated with Integrity Building Systems later formed a new and unrelated business entity called Milton Home Systems, Inc., based on the information you provided. This office cannot cite Milton Homes Systems as they did not manufacture your home.

The primary issue contained in your December 15, 2011 complaint to this office was the insufficient headroom provided in the stairway to the third story of your home. The Loudoun County building department had previously cited this as well as insufficient headroom in the stairway leading to the second story as violations caused by the manufacturer.

Partners for Better Communities



www.dhcd.virginia.gov

In an effort to assist you in resolving your complaint, representatives from this office, the Loudoun County building department, NTA and Milton Homes met at your home on April 9, 2012 to verify the cited building code violations and seek a possible resolution.

Correspondence dated May 30, 2012 from the attorney representing Milton Home Systems, Inc. stated that a monetary settlement had been offered to you to resolve your issues with Integrity Building Systems, Inc. (see attached). The Loudoun County Building Department subsequently advised this office that work was being performed to construct a new stairway to the top story of your home, based on plans that had been reviewed and approved by their department. Loudoun County has advised this office that they have performed rough-in inspections of the new stairway.

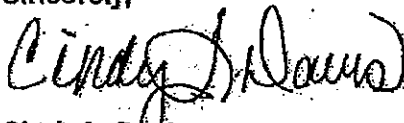
Your e-mail also states that NTA certified that the home has a 200-amp electrical service, although in actuality the home has two 200 amp electrical services. The building plans that Integrity submitted to NTA for approval show one 200 amp panel along with calculations for one 200 amp panel. It appears that the second 200 amp panel was shipped loose with the home for the wiring of site installed equipment and outlets. The Loudoun County building department is the authority having jurisdiction for the site installation and wiring of this panel.

As this office is unable to proceed further with this case this file will be administratively closed.

Pursuant to section 13 VAC 5-91-70 of the Virginia Industrialized Building Safety Regulations any person aggrieved by the Department of Housing and Community Development's (DHCD) application of this chapter shall be heard by the State Review Board established by §36-108 of the Code of Virginia. Such appeal shall be submitted within 21 calendar days of receipt of DHCD's decision. A copy of the decision of DHCD to be appealed shall be submitted with the application for appeal. Failure to submit an application for appeal within the time limit established by this section shall constitute acceptance of DHCD's decision. For your convenience, I have enclosed an application.

Please contact me at 804-371-7150 or by email at cindy.davis@dhcd.virginia.gov, if you have any questions regarding this matter.

Sincerely,



Cindy L. Davis
State Building Codes Director

Attachment

C: Christopher Thompson, Loudoun Co.
Emory Rodgers
Eric Leatherby

From: Hunter Madison [mailto:huntermadison2002@yahoo.com]
Sent: Monday, September 10, 2012 1:13 PM
To: McMahan, Alan (DHCD); Davis, Cindy (DHCD)
Cc: Hodge, Vernon (DHCD)
Subject: Re: Milari Madison appeal (Appeal No. 12-6)

I think a relevant packet of documents that should be filed are those sent to me via FOIA, the NTA packet, that stipulates what compliance and correction measures they STATE they will take if there is a "problem". This packet is under the control of DHCD.

I also think that all correspondence, and notes, with all DHCD staff and authorities, between NTA, Milton, IBS, Mr. Tompos and internally, whether perceived as personal in nature should be included, for the passed two years. For example, Mr. Leatherby and/or Ms. Davis indicate they spoke with NTA and that NTA had not heard of Milton. The notes to the phone conversation should be included.

Any guidance or procedure documents, e-mails, or notes relied upon by DHDC to take the position that a change in company name means that the persons or company are no longer responsible, or the entity is now different under VA law, should be included.

Thank you.
Milari Madison

From: Hunter Madison <huntermadison2002@yahoo.com>
To: Eric (DHCD) Leatherby <eric.leatherby@dhcd.virginia.gov>; Bill <bill.shelton@dhcd.virginia.gov>
Sent: Monday, September 10, 2012 1:40 PM
Subject: Fw: Madison/Milton Settlement, violation report (FOIA Request)

Dear Mr. Leatherby,

Pursuant to FOIA, can you let me know if this request has been fulfilled and you have mailed?

§ 2.2-3704. Public records to be open to inspection; procedure for requesting records and responding to request; charges; transfer of records for storage, etc.

B. A request for public records shall identify the requested records with reasonable specificity. The request need not make reference to this chapter in order to invoke the provisions of this chapter or to impose the time limits for response by a public body. Any public body that is subject to this chapter and that is the custodian of the requested records shall promptly, but in all cases within five working days of receiving a request, provide the requested records to the requester or make one of the following responses in writing:

From: Hunter Madison [mailto:huntermadison2002@yahoo.com]
Sent: Monday, September 10, 2012 7:41 PM
To: Leatherby, Eric (DHCD); Shelton, Bill (DHCD)
Cc: Davis, Cindy (DHCD); McMahan, Alan (DHCD); Hodge, Vernon (DHCD); Rodgers, Emory (DHCD)
Subject: Fw: Madison/Milton Settlement, violation report (FOIA Request)

A public record is any writing or recording - regardless of whether it is a paper record, an electronic file, an audio or video recording, or any other format - that is prepared or owned by, or in the possession of a public body or its officers, employees or agents in the transaction of public business.

Per the e-mail below, I would like a certified copy of the document sent to you enumerating the code violations by Loudoun County including the certification that you are the custodian.

Milari

From: "McMahan, Alan (DHCD)" <Alan.McMahan@dhcd.virginia.gov>
To: "huntermadison2002@yahoo.com" <huntermadison2002@yahoo.com>; "Davis, Cindy (DHCD)" <Cindy.Davis@dhcd.virginia.gov>
Cc: "Hodge, Vernon (DHCD)" <Vernon.Hodge@dhcd.virginia.gov>
Sent: Monday, September 10, 2012 11:34 AM
Subject: Milari Madison appeal (Appeal No. 12-6)

Dear Ms. Madison and Ms. Davis:

On September 5, 2012, Ms. Milari Madison filed an appeal, by email (see attached), to the State Building Code Technical Review Board ("Review Board") concerning building code inspections in the Virginia Industrialized Building Safety Regulations as it relates to a property located in Loudoun County.

As a party to this appeal, please submit within 14 days of the receipt of this email, all documents to the Office of the Review Board that you believe are necessary for the Review Board to consider in this appeal. For your convenience, documents may be submitted via email. Once the documents are received, Review Board staff will compile the documents and produce a staff document summarizing the appeal. The staff document and the documents received will then be sent to both parties, at which point they may submit additional documents or objections, corrections or additions to the staff document or written arguments.

Also, please find attached a schedule which outlines the general timeframes Review Board staff will use in processing the appeal. More information concerning the appeals process may be obtained from the Review Board website:

http://www.dhcd.virginia.gov/AboutDHCD/State_Building_Code_Technical_Review_Board.htm

Should you have any questions or concerns, please do not hesitate to contact me.

Regards,

Alan McMahan, CBO
Senior Construction Inspector II
State Building Code Office
Division of Building & Fire Regulation
Department of Housing & Community Development
600 East Main Street, Suite 300
Richmond, Virginia 23219
(804) 371-7175
(804) 371-7092 - fax
alan.mcmahan@dhcd.virginia.gov

Dear Mr. McMahan,

Kindly include the instructional email below from Mr. Emory Rodgers for inclusion in the record and the photographs. As previously stated, it is very unclear as to what the "regulation" is that serves as the basis for the appeal to the Davis "letter" and the state can and should simply issue the appropriate NOV's under the law.

I trust the PDF is sufficient and that I do not need to mail a copy.

Thank you for your assistance.

Milari Madison

From: Hunter Madison [mailto:huntermadison2002@yahoo.com]
Sent: Monday, September 10, 2012 7:29 PM
To: Davis, Cindy (DHCD); Shelton, Bill (DHCD); Rodgers, Emory (DHCD); Tag Greason; Delegate Bob Marshall; district13@senate.virginia.gov; Mark Obenshain; J. Randall; contact@landmarklegal.org
Cc: McMahan, Alan (DHCD)
Subject: FOIA Request - DHCD Playing games with FOIA

Is this a joke?

Under FOIA, you need to identify what type of legal memorandum you seek to withhold. Furthermore, legal memorandum "may be disclosed by the custodian in his discretion".

Milari Madison

Milari Madison: Sunshine Troublemaker of the Week

Posted on October 15, 2007 by Leslie Graves | 2 Comments

Milari Madison of Loudoun County, Virginia is the winner of this week's coveted and increasingly prestigious Sunshine Troublemaker of the Week award.

Madison has earned this award because for filing a FOIA, a powerful county supervisor sent her name and contact information to his large e-mail list. One of them responded with the vulgar, childish and demeaning assertion that Milari filed the FOIA because she wasn't "getting enough" at home.

The county supervisor also denied the request until he was set straight on an important sunshine principle. **Here's the story.**

Madison is a property rights activist. There are controversies over development issues in Loudoun County. It occurred to Madison that it would be valuable to know who was communicating with the members of the Loudoun County Board of Supervisors.

Makes perfect sense to me. Part of open government is knowing who your government representatives are talking to, and who talks to them.

So, Madison sent a FOIA under Virginia's open records law asking to see who was on the e-mail list of Supervisor Jim Burton.

Supervisor Jim Burton retaliated by sending out a mass e-mail to that very list telling them about Madison's request, including her contact information.

One of Jim Burton's e-mail buddies responded this way:

"Milari Madison just needs to be ignored. [She is] obviously not getting it enough at home and [is] crying out for attention."

I try to be at least vaguely professional here, so I won't type what I'm thinking.

Then, Supervisor Burton contested the FOIA request, claiming that under a provision of Virginia's public records law, ordinary citizens who receive notifications from the government are entitled to have their names and e-mail addresses shielded from public scrutiny.

He lost on this claim because that law applies to citizens who want to get official government updates, not people who are on the e-blast lists of government officials who use those e-blasts to send out news and to politically frame issues as they prefer.

So, Milari Madison's open records request resulted in a teachable moment about FOIA and e-blasts that went the right way.

One notable element of this story is that Madison appears to generally be right-of-center. But, she has been defended in a no-holds-barred sort of way by Paradox, the progressive blogger who writes the apparently much-needed blog, Leesburg Tomorrow. (The local paper is called Leesburg Today.)

I must say, I was very touched to see this. Partisan advocacy too often trumps the normal belief in sunshine. So, Paradox, you are the first designated Margaret Fell Honoree of the Lucy Burns Institute. Thank you. As for you, Milari Madison, thank you and stay the course. We are proud and delighted to welcome you to the ranks of the STOTWs.

From: Hunter Madison [mailto:huntermadison2002@yahoo.com]
Sent: Wednesday, September 12, 2012 7:03 AM
To: McMahan, Alan (DHCD); Davis, Cindy (DHCD); Shelton, Bill (DHCD); Calhoun, Steve (DHCD)
Cc: Hodge, Vernon (DHCD); Leatherby, Eric (DHCD); Chris Thompson; Steve Rodgers
Subject: Re: Milari Madison appeal (Appeal No. 12-6)

Thank you for your help.

I am waiting for the affidavit from Eric Leatherby (pursuant to my FOIA request dated September 2, 2012) that enumerates the building code violations which I intend to include in the appeal.

I am waiting to know from DHCD what published rule sections, guidelines, or code section have been "applied" or relied upon in which the appeal is based on.

I also would like for the attached court case and discussion that explains VA law (citations of VA cases) with respect to a name change of a business (does not change the entity or its liabilities).

I may have additional documents to further supplement the appeal.

Alternatively, DHCD simply needs to issue the NOV and correction notices to IBS/Milton, Richard Rowe, Glenn Salsman (same principals), NTA and/or Mr. Tompos consistent with the plain language of the law.

Milari Madison

Civil Action No.: 1:08-cv-446

159

I. FACTS¹

i. *The Grunley Walsh and G-W Management Services Company Backgrounds*

The Grunley Walsh entity is a well known construction and renovation company based in the Washington, D.C. area. This company, along with its predecessors in interest, have performed work on high-profile structures such as the World War II Memorial, the Washington Monument, the White House, the Capitol, the Library of Congress, the Smithsonian Institution, and the National Gallery of Art.

In 1998, Kenneth Grunley, owner of Grunley Construction Co., and James Walsh, owner of William V. Walsh Construction, Inc., merged their two companies and formed Grunley Walsh Joint Venture, LLC ("Grunley Walsh Joint Venture"). In that same year, Mr. Grunley and Mr. Walsh hired Mr. Raap, a longtime government employee in the construction field, to be the president and general manager of their new company. Between 1998 and 2006, the Grunley Walsh entity underwent two name changes. First, Grunley Walsh Joint Venture became The Grunley Walsh, LLC, and then Grunley Walsh International, LLC ("Grunley Walsh International"). Throughout these changes, Mr. Grunley and Mr. Walsh maintained ownership of the Grunley Walsh entity.

Grunley Walsh historically has performed large-scale construction projects. In 2000, however, the company decided to enter the market for small business set-aside work. In pursuit of this goal, and in an attempt to comply with small business regulations, Mr. Raap, Mr. Grunley, and Mr. Walsh formed a new company called Grunley-Walsh Management Services, LLC. The ownership structure of this new company was as follows: Mr. Grunley and Mr. Walsh each owned 24.5%, and Mr. Raap owned 51%. In 2002, Mr. Grunley and Mr. Walsh sold their

¹ As required, the following facts are viewed in the light most favorable to the plaintiff. See *infra* Section III., Standard of Review.

interests in Grunley Walsh Management Services, LLC to Mr. Raap. Around this time, Mr. Raap, at the request of Mr. Grunley and Mr. Walsh, changed the name of Grunley-Walsh Management Services, LLC to G-W Management Services, LLC ("GWMS") to avoid name confusion and potential small business regulation violations.

Mr. Raap maintained his position as President and General Manager of the Grunley Walsh entity while he owned and operated GWMS. Additionally, with the consent of Mr. Grunley and Mr. Walsh, Mr. Raap ran GWMS out of the Grunley Walsh offices, utilizing Grunley Walsh personnel and office equipment. GWMS and Grunley Walsh executed a contract to govern this dynamic. The parties operated under this arrangement until Mr. Raap moved his GWMS company to a different location in January of 2007.²

Mr. Grunley and Mr. Walsh eventually became concerned that Mr. Raap was engaging in improper conduct while operating GWMS, such as using the GRUNLEY-WALSH mark without permission to acquire government construction projects for GWMS.³ Furthermore, Mr. Grunley and Mr. Walsh believed that Mr. Raap intentionally diverted business opportunities from Grunley Walsh to GWMS. As a result, Mr. Grunley and Mr. Walsh fired Mr. Raap from his position of President and General Manager of Grunley Walsh in May of 2007.

ii. The Membership Interest Purchase Agreement

² Mr. Raap continued to work as President and General Manager of Grunley Walsh after this move.

³ Specifically, Grunley Walsh alleges that Raap and GWMS willfully and repeatedly used the GRUNLEY-WALSH mark in all of its email communications through January 2007, submitted proposals with government agencies in the name of "Grunley Walsh Management Services," signed subcontracts with subcontractors identifying the prime contractor as "Grunley Walsh," and otherwise made liberal use of the GRUNLEY-WALSH mark in connection with GWMS's construction and renovation services.

In 2006, Mr. Grunley and Mr. Walsh began exploring a sale of the Grunley Walsh entity to First Kuwaiti, a construction company that had been involved in building U.S. embassies overseas.⁴ On December 23, 2006, the ownership of The Grunley Walsh, LLC and Mr. Farah, a representative for First Kuwaiti, reached a deal called the Membership Interest Purchase Agreement. The deal was intended, in large part, to transfer the international segment of the Grunley Walsh entity to Mr. Farah, and leave the domestic business with Mr. Grunley and Mr. Walsh.

In order to accommodate this international and domestic division of property, Mr. Grunley and Mr. Walsh restructured their corporate framework. First, they changed the name of The Grunley Walsh, LLC to Grunley Walsh International. Then they used Kenneth M. Grunley Construction Co. and James V. Walsh Construction Co. to create a new entity called Grunley Walsh U.S.⁵ The parties intended, for the most part, to allocate the international business to Grunley Walsh International and the domestic business to Grunley Walsh U.S.

The closing date for the Membership Interest Purchase Agreement was November 6, 2007. It contained a "Retained Property" provision listing which property was to remain with Grunley Walsh International.⁶ In other words, the Retained Property provision provided the interests purchased by Mr. Farah. The property not included in the Retained Property provision was to be transferred back to Grunley Walsh U.S. through an assignment clause.⁷

⁴ At this point in time, the Grunley Walsh entity was operating under The Grunley Walsh, LLC name.

⁵ Mr. Grunley and Mr. Walsh formed Grunley Walsh U.S. on paper on or about December 15, 2006 in anticipation of entering into the Membership Interest Purchase Agreement, but the entity did not begin operation until January 1, 2007.

⁶ See Schedule 1.1, MEMBERSHIP INTEREST PURCHASE AGREEMENT, A41 (November 6, 2007).

⁷ See Assignment and Assumption, MEMBERSHIP INTEREST PURCHASE AGREEMENT, A72 (November 6, 2007) ("[E]ffective as of the date hereof, [Grunley Walsh International]